

SECTION 009113 – ADDENDUM TWO

PART 1 - ADDENDA

1.1 PROJECT INFORMATION

- A. Project Name: Alliance Fire Station
- B. Owner: Madison County
- C. Architect: Dale Partners Architects, PA
- D. Architect Project Number: 22019
- E. Date of Addendum Two: 1 November 2022



1.2 NOTICE TO BIDDERS

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is **unchanged** by this Addendum at same time and location.

1.3 GENERAL RESPONSES TO REQUESTS FOR INFORMATION

- A. Question: Does the pemb paint? Nowhere in the plans does it say painted.
Answer: PEMB is to be painted to match adjacent if exposed.
- B. Question: I am working on this job, and I had a couple of questions. On page A-601, in the General Finish Plan Notes; under the ceiling tab it refers to ACT as 2x2 tile and grid, but the specs reveal it is a 2x4 tile.
Answer: Tile is to be 2x2.
- C. Question: For all the interior tube steel columns (4 I think), it appears that a weld plate is required to be installed into the slab. While it is not impossible to brace this off with rebar and tie wire, it is very unlikely that this application gets installed correctly as shown. Is it possible that this gets changed to a drilled and epoxy application?
Answer: See attached structural.

- D. Question: On the 5" slab side, there is only one 8' long detail showing the 6" curb (11/S302) but other locations that *might* appear to be similar. Please advise to where the curbs are to be installed on the 5" slab side.
- Answer: See attached structural.
- E. Question: If more is required in Alternate #3 beyond the Base Bid, are there any additional foundation requirements for the dumpster enclosure.
- Answer: No additional requirements.
- F. Question: The eave height 18' is shown here is up to the bottom of purlin. We are adding purlin depth to the 18' height. Please confirm?
- Answer: See attached structural.
- G. Question: We are providing 5 psf for collateral load as mentioned in point 3.1.2. but, please let us know that if we need to consider any additional collateral load due to suspended items (3.1.3).
- Answer: See attached structural.
- H. Question: Please let us know the roof panel type?
- Answer: Roof panels are to be equal to Varco Pruden SSR Standing Seam Roof 24 inches wide, 3 inches high; steel 24 MFG STD gage.
- I. Question: Do you want us to check purlin for the below shown deflection limits. or we can check with standard span/180?
- Answer: Span /180 is acceptable for girts supporting metal panels, Use Span/360 for wind beams supporting the top of stud walls with Brick.
- J. Question: Please let us know the weight of the brick wall and stud framing to be considered for all walls?
- Answer: Brick = 40 psf, stud wall = 10 psf.
- K. Question: As per 4/S-402 , end wall spandrel/wind beam height shown as 12ft. Do we have to provide the spandrel at the same height, or can we place it as high as possible?
- Answer: Wind beam T/Steel elevation will be added to the Addendum.
- L. Question: The super seam II panel is our standard snap together standing seam roof panel is this compatible with the Varco Pruden SSR Standing Seam Roof 24 inches wide?
- Answer: Substitutions will be considered within the first 30 days of the awarded contract in compliance with the specifications.
- M. Question: I'm working on this one, but I have a question. Doors 008a and 008b going into the Safe/File Room show the detail to be D7 which is not listed on the door types. I assume they would just be flush doors. However, can you tell me if they are to be storm rated? The wall details say it is a storm shelter. I can price those two as a

14ga tornado rated door and frame if that's what that needs to be. It just doesn't state that anywhere on the door schedule, the spec or the hardware sets so I wanted to check to be sure. If they do not need to be storm rated, then I will just price them the same as the other interior hollow metal doors.

Answer: The two doors going into the storm shelter will be flush doors and storm rated.

N. Question: Inflow pipe on pump station is shown as 8" SDR-26 PVC on Sheet C6.0 but 4" SDR-26 PVC on Sheet C2.0, which is correct?

Answer: The inflow pipe should be 4" SDR-26 PVC.

1.4 REVISIONS TO DIVISION 00 – PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

A. DOCUMENT 004113 – BID FORM. Delete this form in its entirety and replace with new. See attached.

1.5 REVISIONS TO DRAWINGS

- A. Civil Sheet C2.0 – SITE PLAN. Delete the sheet in its entirety and replace with the attached. Revised note for clarity regarding pump station/force main.
- B. Civil Sheet C4.0 – CONCRETE JOINT LAYOUT. Delete the sheet in its entirety and replace with the attached. Revised concrete joint layout to add more tie bars, move lug anchors, and revised notes.
- C. Civil Sheet C5.0 – CONSTRUCTION DETAILS. Delete the sheet in its entirety and replace with the attached. Revised multiple details to reflect reinforcing requirements, construction joints, and added detail regarding sealant.
- D. Structural Sheet S-102 – MEZZANINE FRAMING PLAN. Delete the sheet in its entirety and replace with the attached. Added Sections 7/S402, 2/S-403 and 3/S-403.
- E. Structural Sheet S-201 – ROOF FRAMING PLAN. Delete the sheet in its entirety and replace with the attached. Added Mechanical equipment and weights to roof plan.
- F. Structural Sheet S-302 – FOUNDATION SECTIONS AND DETAILS. Delete the sheet in its entirety and replace with the attached. Revised Section 1 to detail baseplate with post-installed anchors at interior columns.
- G. Structural Sheet S-401 – FRAMING SECTIONS AND DETAILS. Delete the sheet in its entirety and replace with the attached. Revised details 7 and 10 to add wind beam elevations.
- H. Structural Sheet S-402 – FRAMING SECTIONS AND DETAILS. Delete the sheet in its entirety and replace with the attached. Revised details 7 and 10 to add wind beam elevations.
- I. Structural Sheet S-403 – FRAMING SECTIONS AND DETAILS. Delete the sheet in its entirety and replace with the attached. Added details 2 and 3.

1.5 ATTACHMENTS

- A. Specification Bid Form dated 1 November 2022.
- B. Civil Sheet C2.0 – Site Plan dated 1 November 2022.
- C. Civil Sheet C4.0 – Concrete Joint Layout dated 1 November 2022.
- D. Civil Sheet C5.0 – Construction Details dated 1 November 2022.
- E. Structural Sheet S-102 – Mezzanine Framing Plan dated 1 November 2022.
- F. Structural Sheet S-201 – Roof Framing Plan dated 1 November 2022.
- G. Structural Sheet S-302 – Foundation Sections and Details dated 1 November 2022.
- H. Structural Sheet S-401 – Framing Sections and Details dated 1 November 2022.
- I. Structural Sheet S-402 – Framing Sections and Details dated 1 November 2022.
- J. Structural Sheet S-403 – Framing Sections and Details dated 1 November 2022.

END OF ADDENDUM TWO

TDOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: 22019 Alliance Fire Station.
- C. Project Location: New Project Development.
- D. Owner: Madison County, 125 West North Street, Canton, Mississippi.
- E. Architect: Dale Partners Architects, 188 E. Capitol Street, Suite 250, Jackson, Mississippi, 39201.
- F. Architect Project Number: 22019.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Dale Partners Architects and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
 - 1. _____ Dollars
 - (\$_____).
 - 2. The above amount may be modified by amounts indicated by the Bidder on the attached Document 004322 "Unit Prices Form" and Document 004323 "Alternates Form."

1.3 ALLOWANCES: (Included in the Base Bid)

- A. Allowance No. 01: Lump Sum Special Testing Allowance of Twenty-Four Thousand Six Hundred Dollars (\$24,600.00).
- B. Allowance No. 02: Lump Sum Temporary Access Road Allowance of Seventy-Five Thousand Dollars (\$75,000.00).

1.4 UNIT PRICES. Include the unit prices below in the base bid and/or alternate. Refer to section 012200 – UNIT PRICES.

- A. Unit Price No. 1: Removal of unsatisfactory soil and replacement with satisfactory soil material.
\$ _____ /Cubic Yard.
- B. Unit Price No. 2: Lime Material.

\$ _____ /Ton.

C. Unit Price No. 3: Soil Mixing.

\$ _____ /Square Yard.

1.5 ALTERNATES. Refer to Section 012300 - ALTERNATES for description of Alternates.

A. Additive Alternate No. 1: Rear Access.

_____ Dollars

(\$ _____).

B. Additive Alternate No. 2: Bay Doors.

_____ Dollars

(\$ _____).

C. Additive Alternate No. 3: Dumpster Pad.

_____ Dollars

(\$ _____).

D. Additive Alternate No. 4: Patio

_____ Dollars

(\$ _____).

E. Additive Alternate No. 5: Bedroom Walls.

_____ Dollars

(\$ _____).

F. Additive Alternate No. 6: Mezzanine.

_____ Dollars

(\$ _____).

G. Additive Alternate No. 7: LVT Flooring.

_____ Dollars

(\$ _____).

H. Additive Alternate No. 8: Completion Date.

_____ Dollars

(\$_____).

1.6 BID GUARANTEE

A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 60 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:

1. _____ Dollars

(\$_____).

B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.7 SUBCONTRACTORS AND SUPPLIERS

A. The following companies shall execute subcontracts for the portions of the Work indicated:

- 1. Concrete Work: _____.
- 2. Masonry Work: _____.
- 3. Roofing Work: _____.
- 4. Plumbing Work: _____.
- 5. HVAC Work: _____.
- 6. Electrical Work: _____.

1.8 TIME OF COMPLETION

A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect and shall fully complete the Work by Substantial Completion date 17 November 2023.

1.9 ACKNOWLEDGMENT OF ADDENDA

A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:

- 1. Addendum No. 1, dated _____.
- 2. Addendum No. 2, dated _____.
- 3. Addendum No. 3, dated _____.
- 4. Addendum No. 4, dated _____.

1.10 BID SUPPLEMENTS

A. The following supplements are a part of this Bid Form and are attached hereto.

1. Bid Form Supplement - Bid Bond Form (AIA Document A310-2010).

1.11 CONTRACTOR'S LICENSE

A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Mississippi, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.12 SUBMISSION OF BID

A. Respectfully submitted this ____ day of _____, 2022.

B. Submitted By: _____(Name of bidding firm or corporation).

C. Authorized Signature: _____(Handwritten signature).

D. Signed By: _____(Type or print name).

E. Title: _____(Owner/Partner/President/Vice President).

F. Witnessed By: _____(Handwritten signature).

G. Attest: _____(Handwritten signature).

H. By: _____(Type or print name).

I. Title: _____(Corporate Secretary or Assistant Secretary).

J. Street Address: _____.

K. City, State, Zip: _____.

L. Email: _____.

M. Phone: _____.

N. License No.: _____.

O. Federal ID No.: _____(Affix Corporate Seal Here).

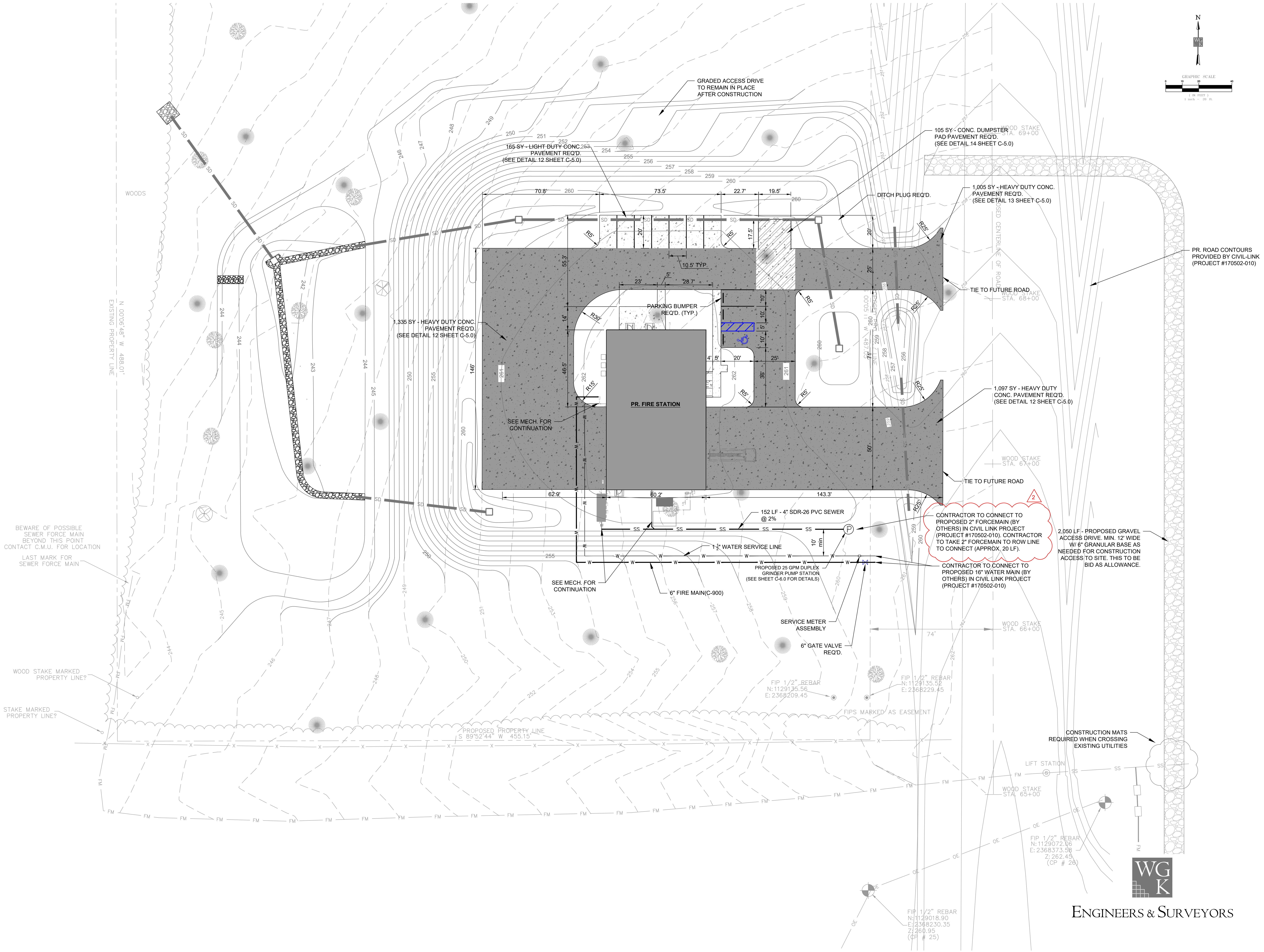
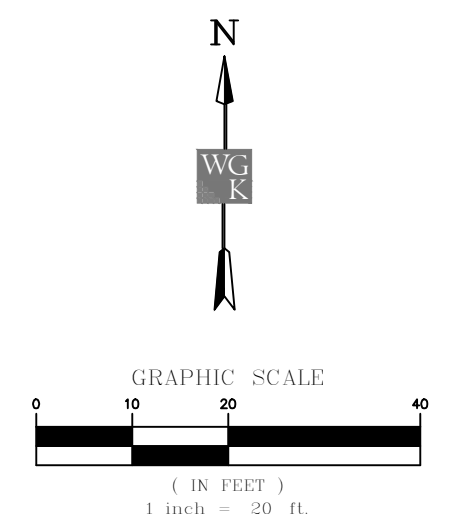
END OF DOCUMENT 004113



Alliance Fire Station
Madison County, Mississippi

Construction Documents

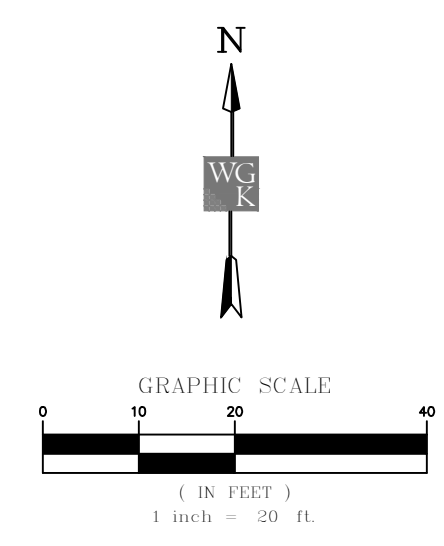
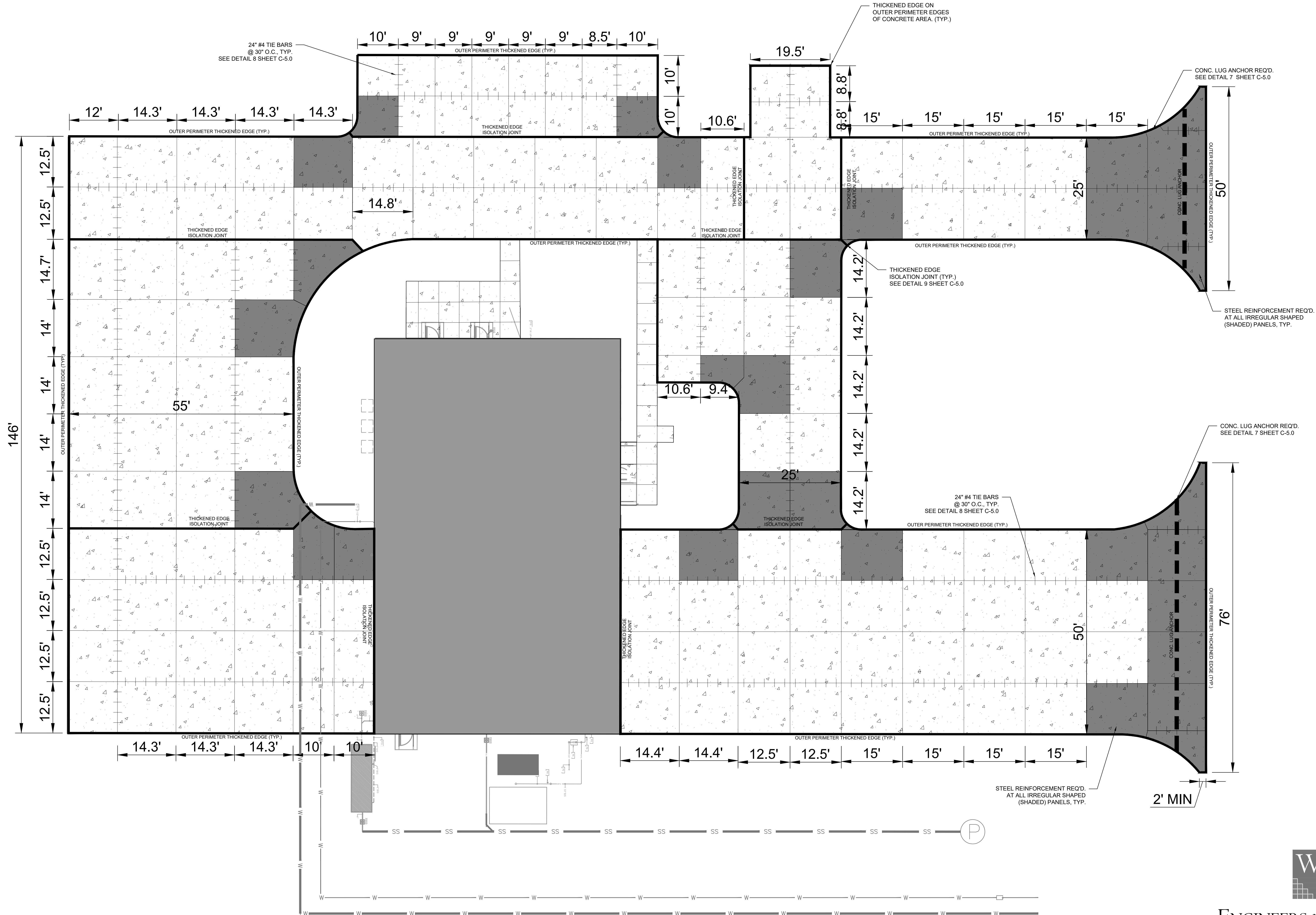
Project No 22019
Date 04 October 2022
Drawn CMS
Checked BLM
Addendum #2 Nov. 1, 2022



ENGINEERS & SURVEYORS

NOTES:

1. ALL OUTER PERIMETER EDGES OF CONCRETE ARE TO HAVE A THICKENED EDGE AS PER DETAIL 9 SHEET C-5.0.
2. DEFORMED BARS REINFORCEMENT IS REQUIRED AT ALL IRREGULAR SHAPED (SHADED) PANELS. SEE DETAIL 4 SHEET C-5.0.
3. CONTRACTOR SHALL SUBMIT PLAN SHOWING PROPOSED CONSTRUCTION JOINT LOCATIONS TO ENGINEER PRIOR TO CONSTRUCTION.
4. CONTROL JOINTS SHOULD BE SAWS AS SOON AS THE CONCRETE IS STIFF ENOUGH TO SUPPORT THE WEIGHT OF THE SAW AND STRONG ENOUGH SO THAT RAVELING OF THE JOINT WILL NOT OCCUR. IN NO CASE SHOULD SAWING BE POSTPONED TO THE NEXT DAY. THE CONTRACTOR SHOULD HAVE ENOUGH SAWS ON SITE TO CUT CONTRACTION JOINTS IN A TIMELY MANNER TO PREVENT UNCONTROLLED RANDOM CRACKS.



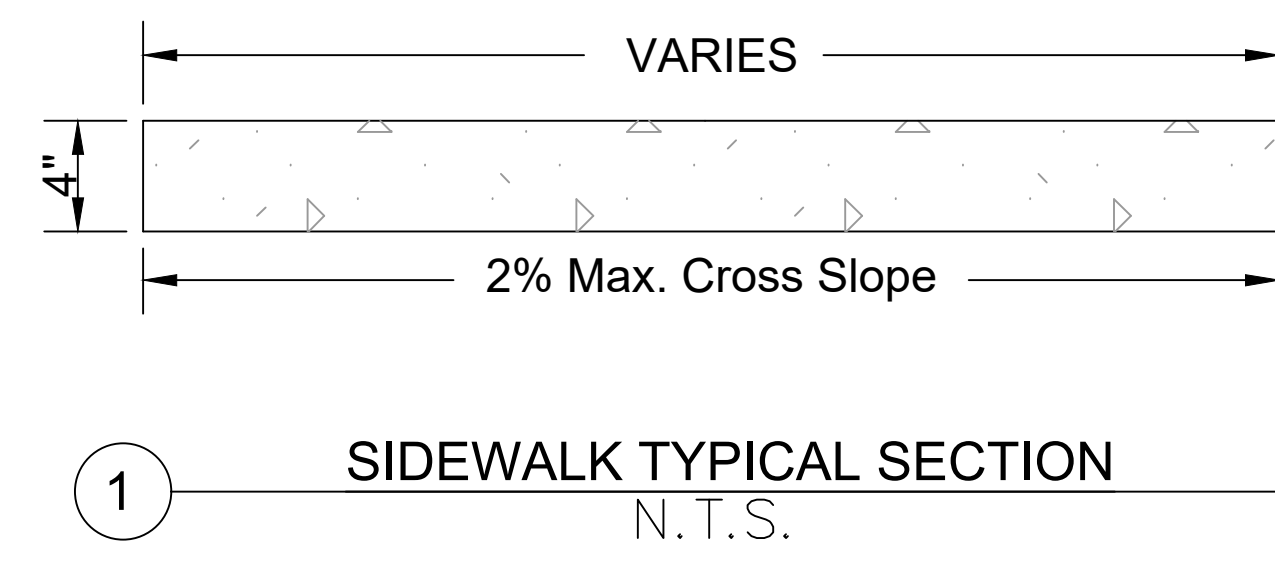
Alliance Fire Station
Madison County, Mississippi

Construction Documents

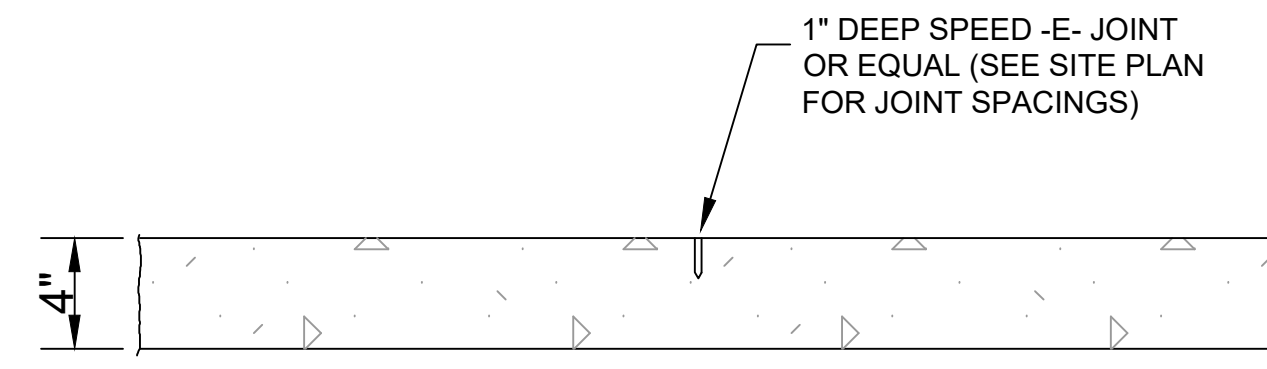
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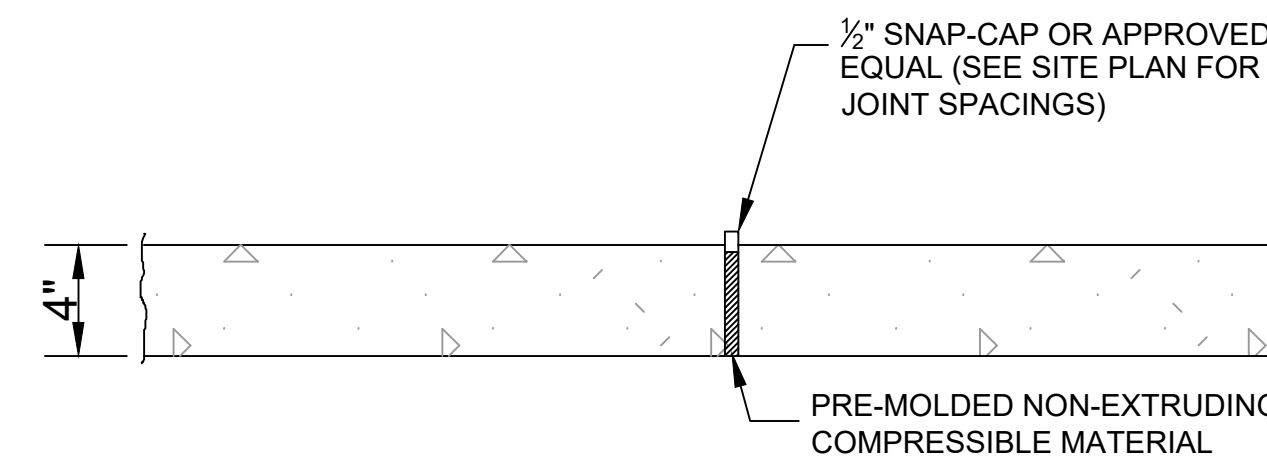
ENGINEERS & SURVEYORS



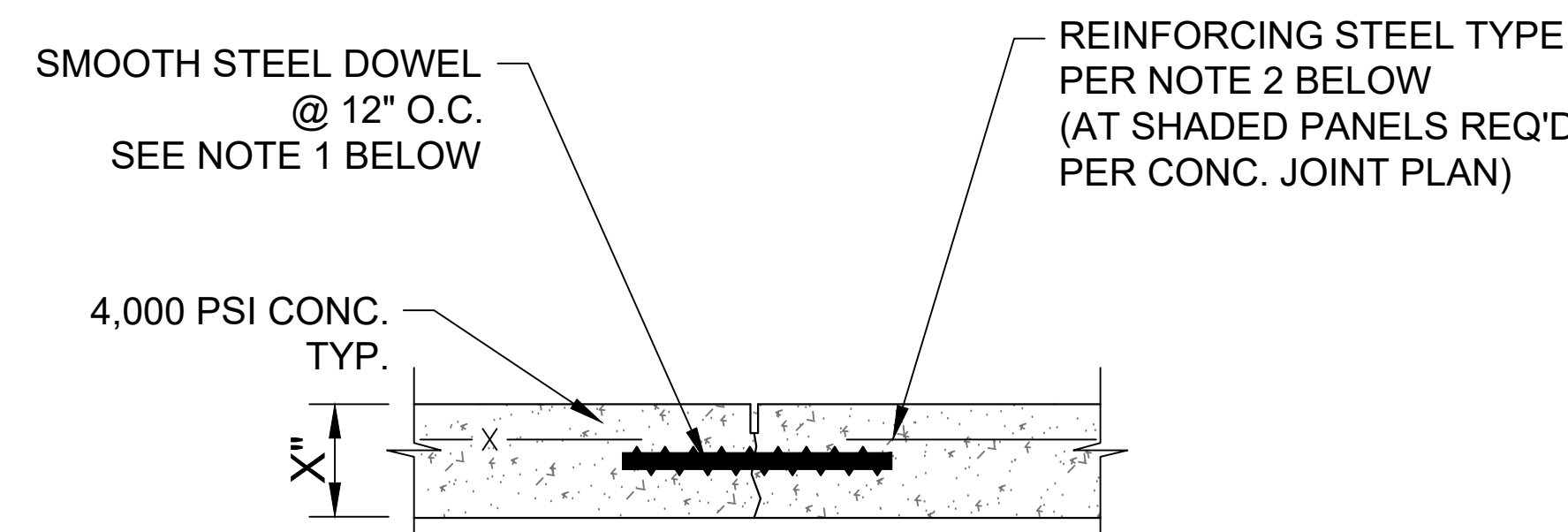
1 SIDEWALK TYPICAL SECTION
N.T.S.



2 SIDEWALK CONTROL JOINT DETAIL
N.T.S.

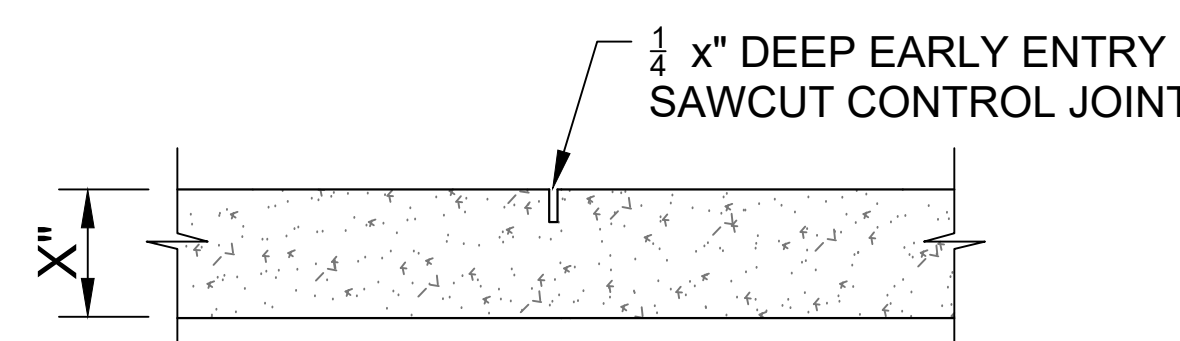


3 SIDEWALK EXPANSION JOINT DETAIL
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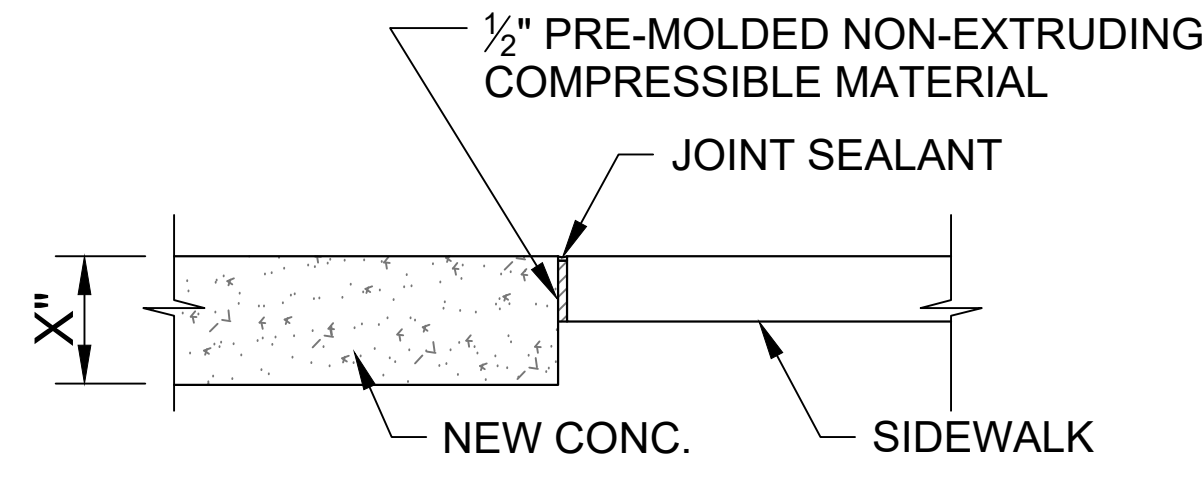


4 PAVEMENT - TYPICAL CONSTRUCTION JOINT
N.T.S.

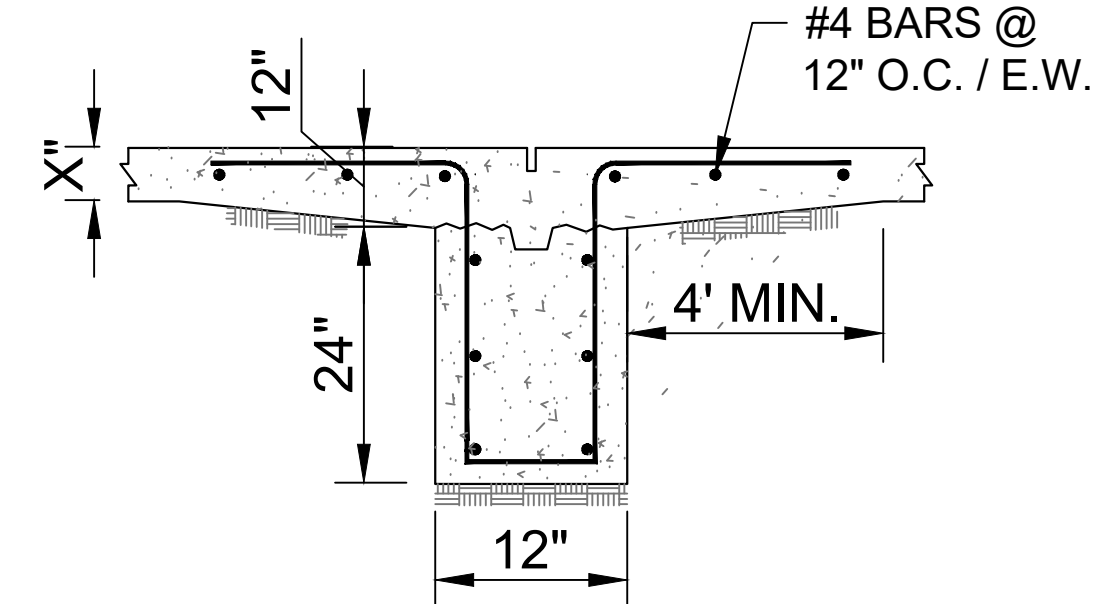
****NOTES:
1. 5" Pavement - Construction joint to be butt type with no dowels.; 7" Pavement - Use 1" diameter x 13" smooth dowel; 8" Pavement - Use 1 1/4" diameter x 15" smooth dowel.
2. Reinforcing for irregular panels to be located 2" below surface of pavement. Contractor to provide wire or plastic chairs adequately spaced to support reinforcing steel during construction.
a. 5" Pavement - No. 3 Deformed Bars at 16" o.c. each way
b. 7" Pavement - No. 4 Deformed Bars at 16" o.c. each way
c. 8" Pavement - No. 4 Deformed Bars at 16" o.c. each way



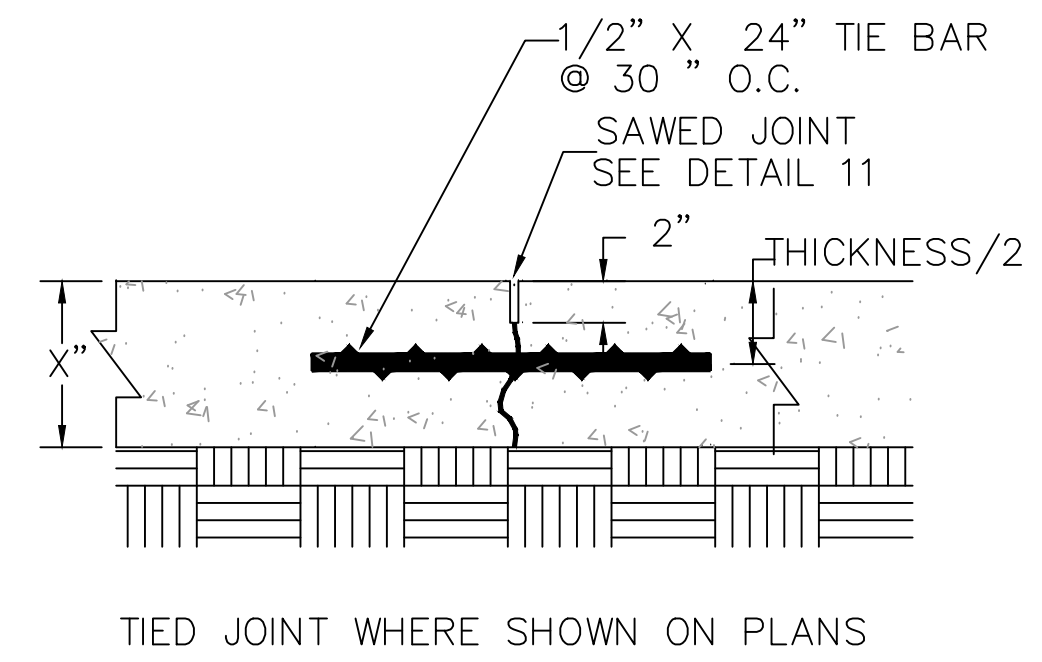
5 PAVEMENT - TYPICAL CONTROL JOINT
N.T.S.



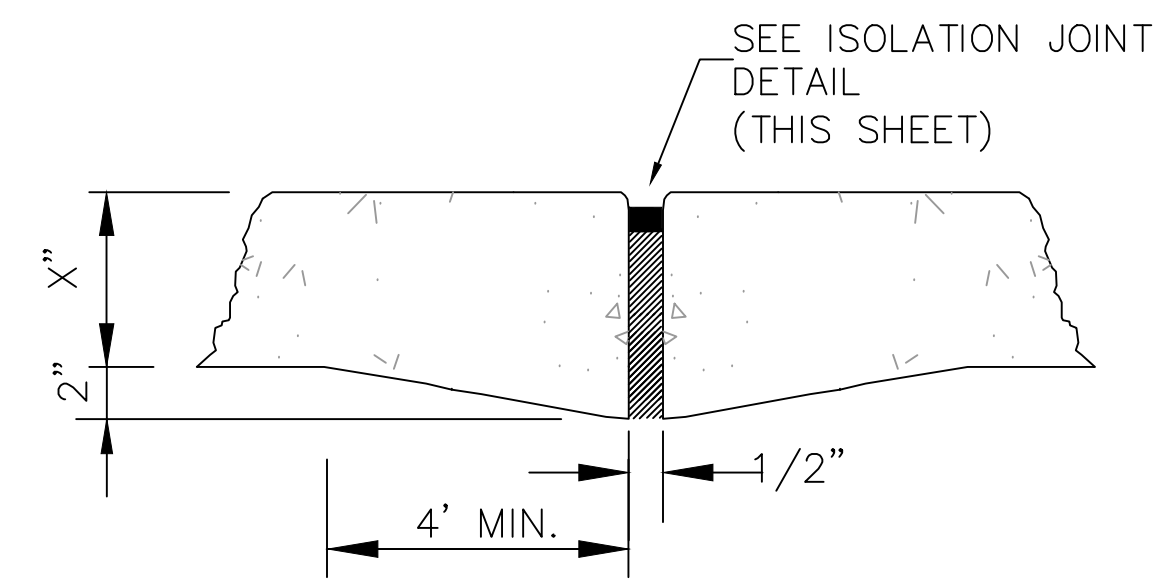
6 PAVEMENT - TYPICAL ISOLATION JOINT
N.T.S.



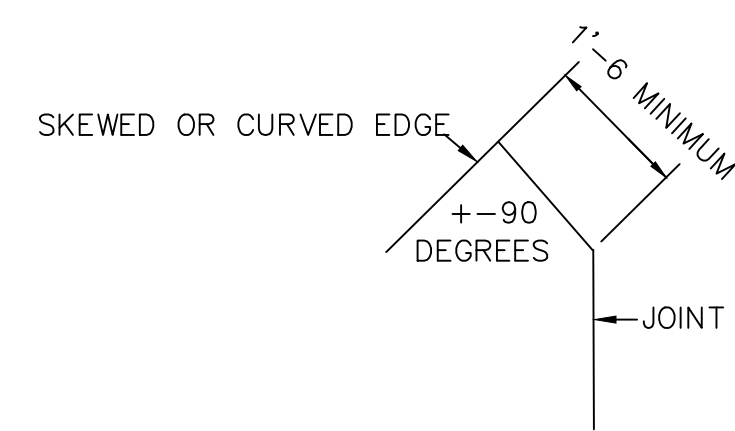
7 PAVEMENT - LUG ANCHOR DETAIL
N.T.S.



8 PAVEMENT - TIED CONTRACTION JOINT
N.T.S.

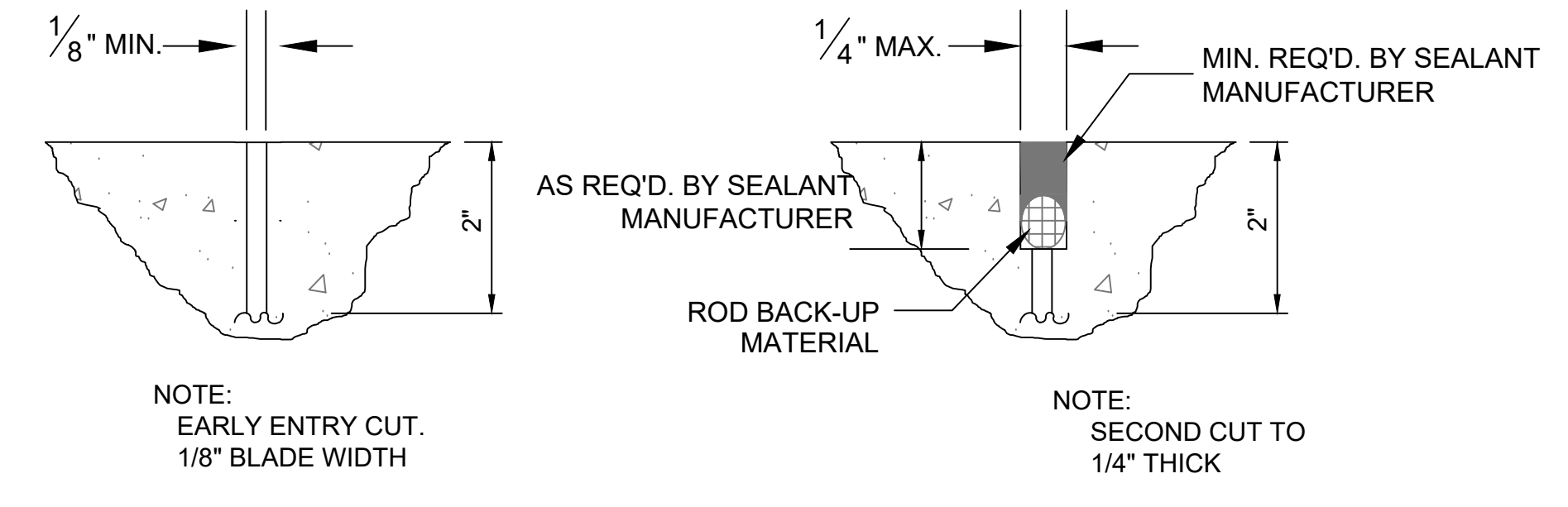


9 PAVEMENT - THICKENED EDGE ISOLATION JOINT
N.T.S.



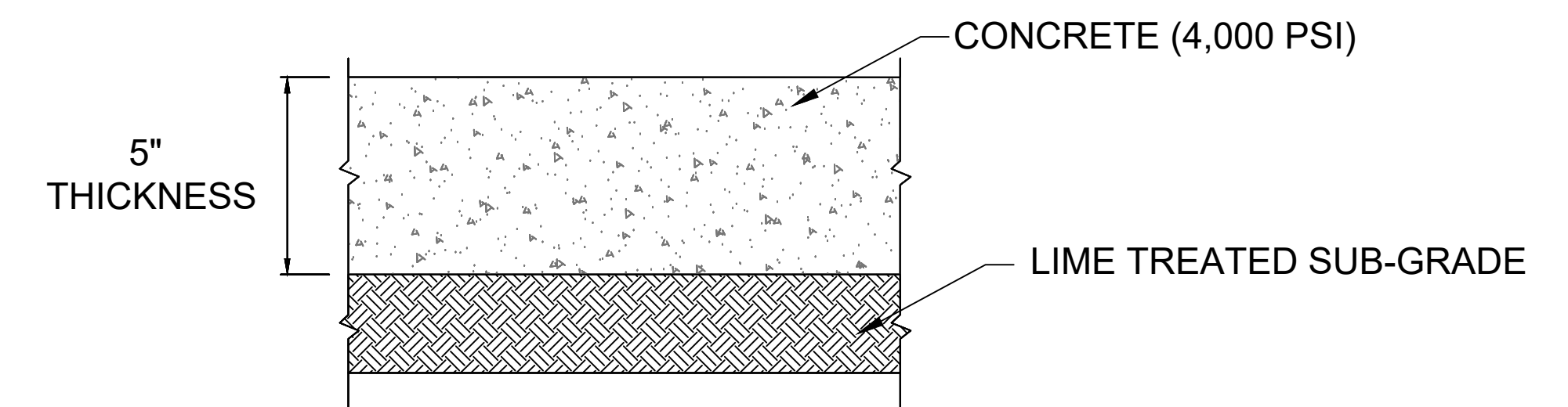
10 PAVEMENT - JOINT CONNECTION DETAIL
N.T.S.

NOTE: TYPICAL JOINT CONNECTION TO SKEWED OR CURVED EDGE.

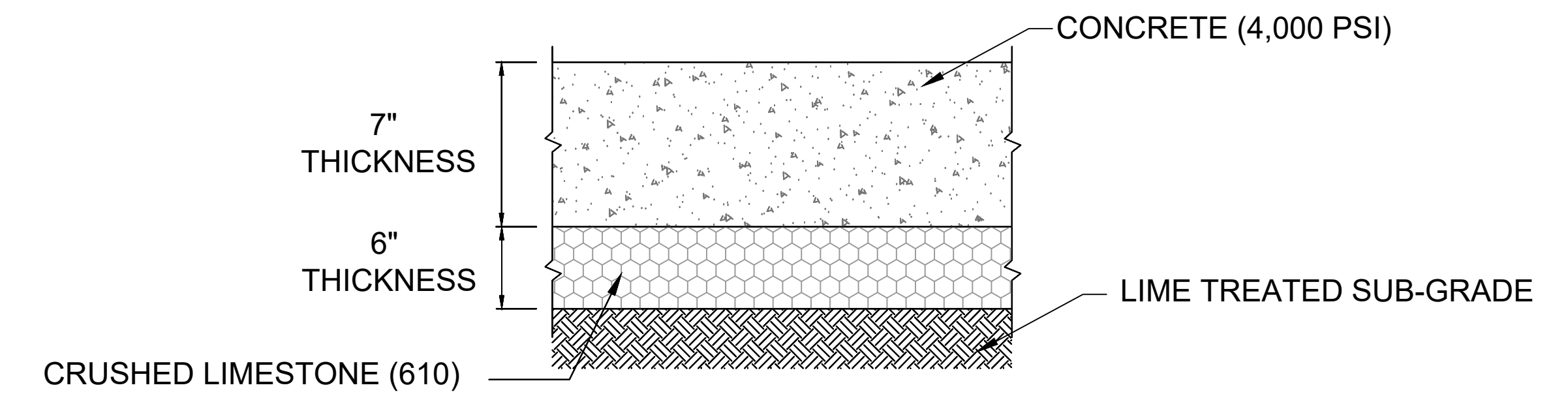


11 PAVEMENT - EARLY ENTRY SAW CUT DETAIL
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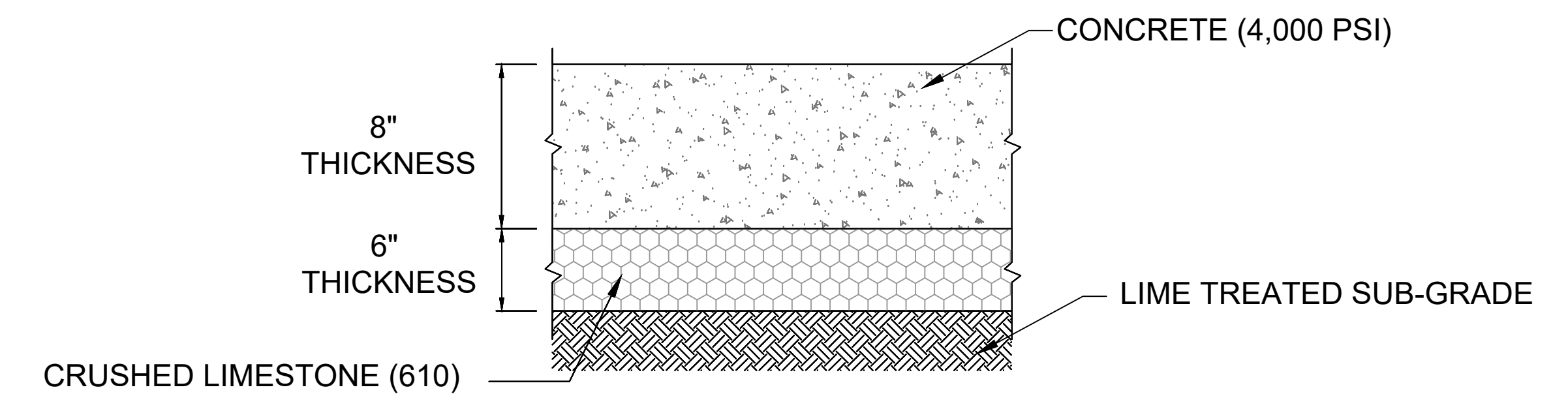
****NOTE: THESE JOINTS SHOULD BE SAWS AS SOON AS THE CONCRETE IS STIFF ENOUGH TO SUPPORT THE WEIGHT OF THE SAW AND STRONG ENOUGH SO THAT RAVELING OF THE JOINT WILL NOT OCCUR. IN NO CASE SHOULD SAWING BE POSTPONED TO THE NEXT DAY. THE CONTRACTOR SHOULD HAVE ENOUGH SAWS ON SITE TO CUT CONTRACTION JOINTS IN A TIMELY MANNER TO PREVENT UNCONTROLLED RANDOM CRACKS.



12 TYPICAL CONCRETE-LIGHT DUTY PAVEMENT SECTION
N.T.S.



13 TYPICAL CONCRETE-HEAVY DUTY PAVEMENT SECTION
N.T.S.

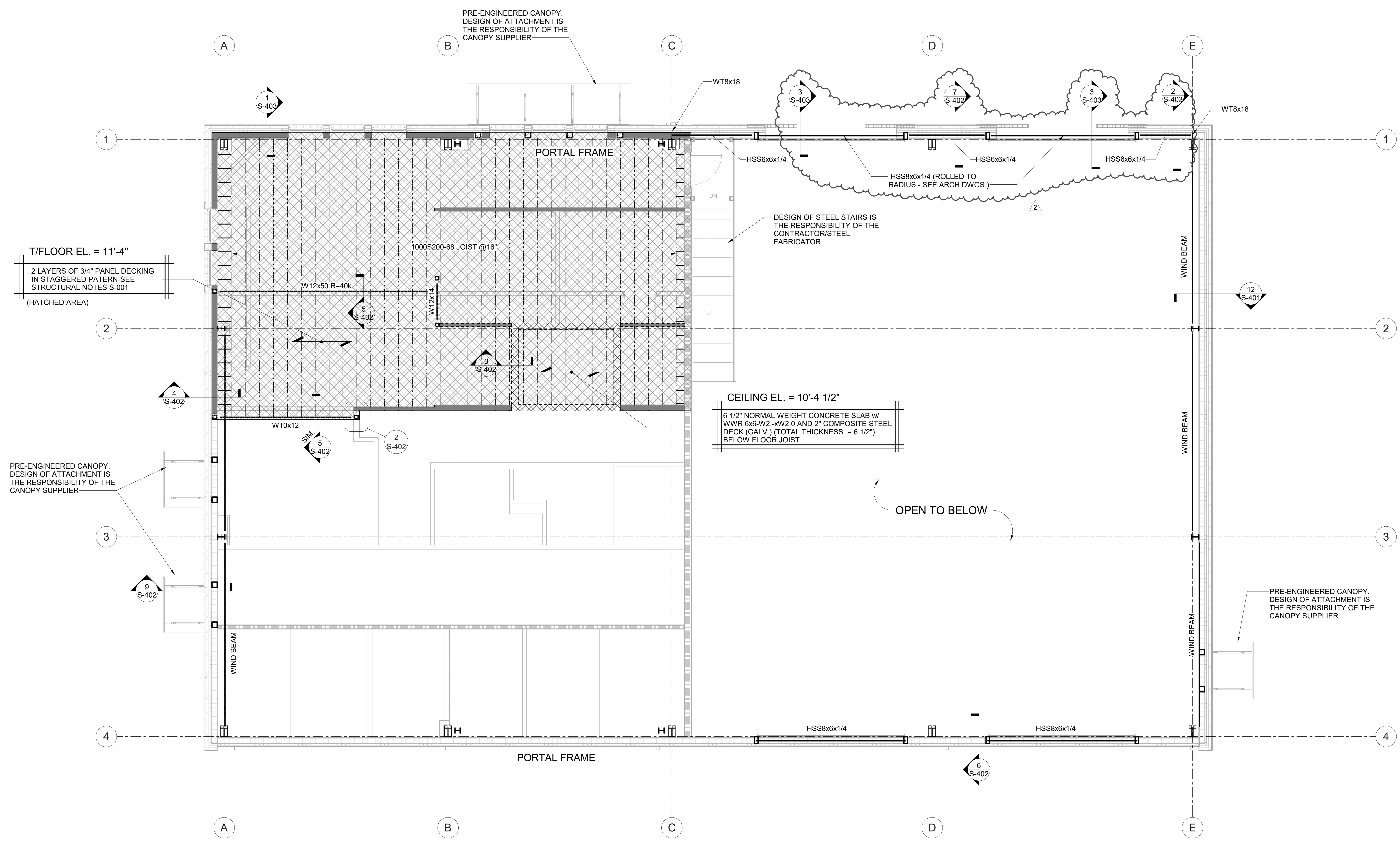


14 CONCRETE-DUMPSTER PAD PAVEMENT SECTION
N.T.S.



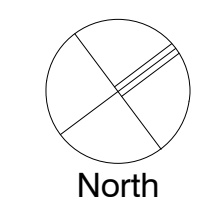
ENGINEERS & SURVEYORS

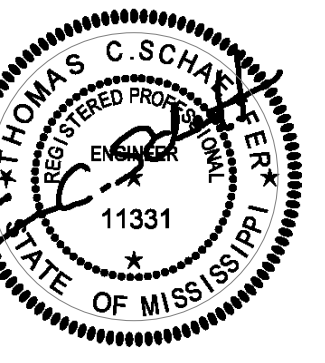




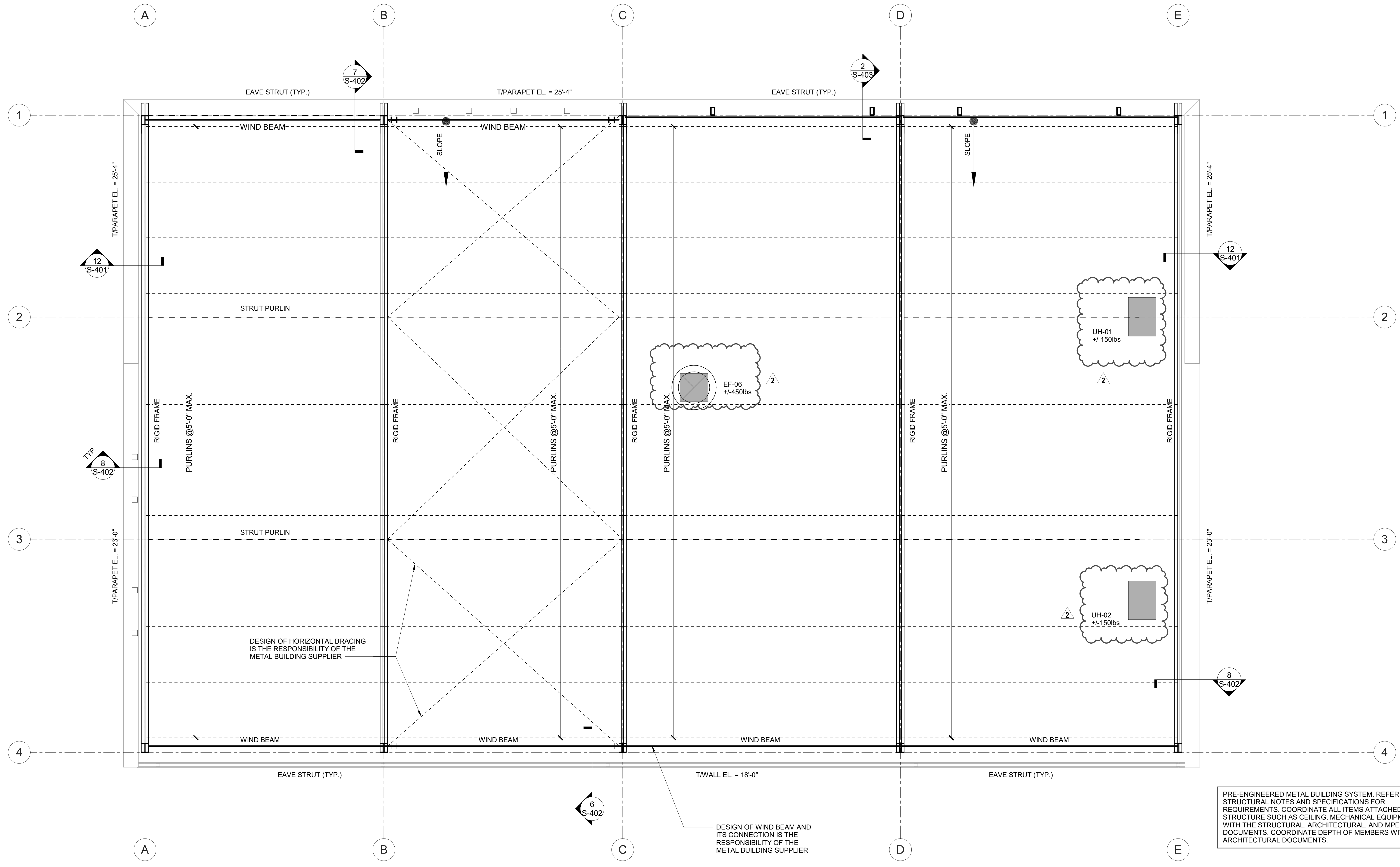
1 MEZZANINE FRAMING PLAN
1/4" = 1'-0"

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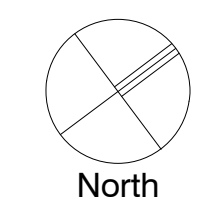
Alliance Fire Station
Madison County, Mississippi

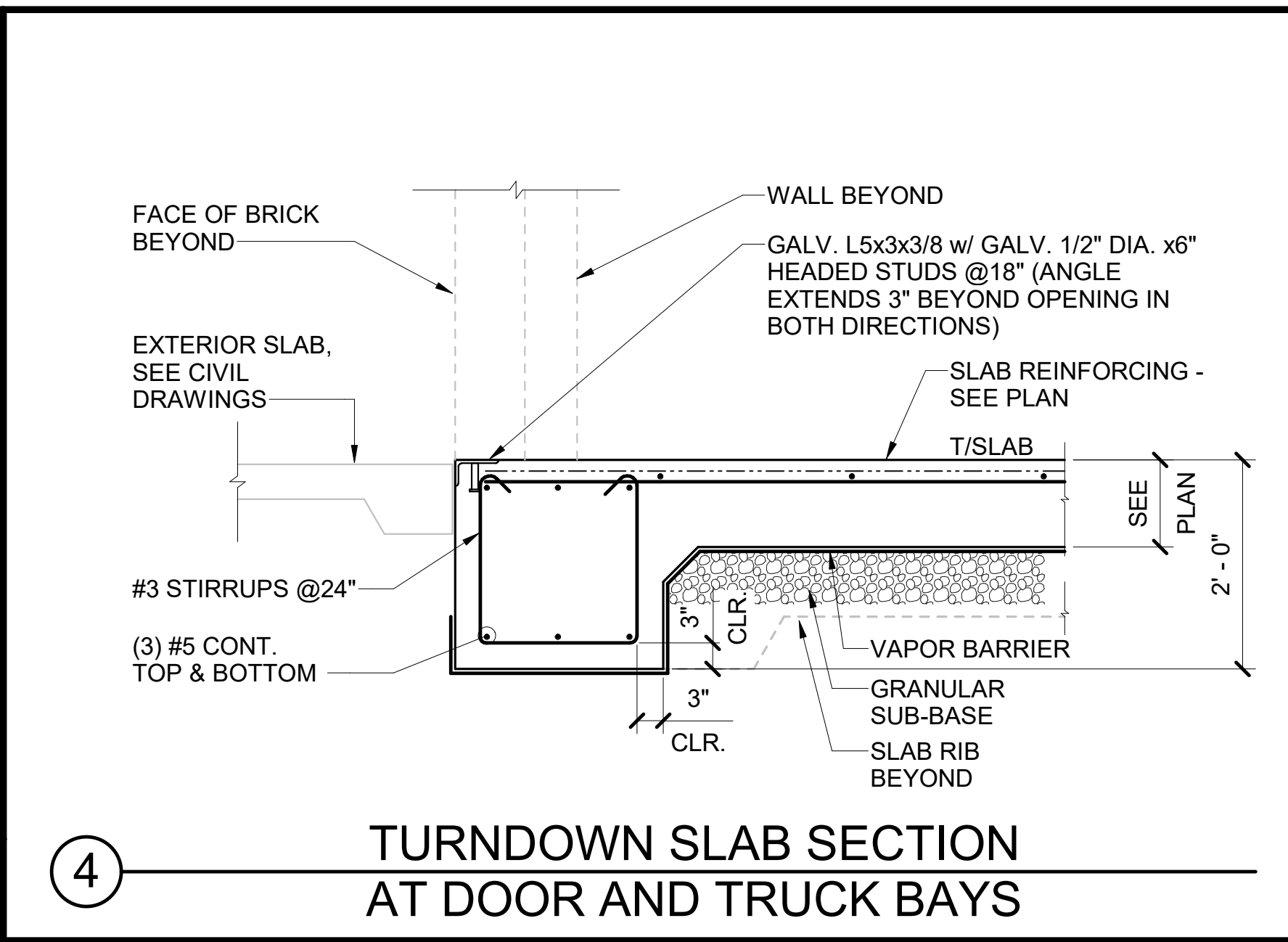


PRE-ENGINEERED METAL BUILDING SYSTEM, REFER TO STRUCTURAL NOTES AND SPECIFICATIONS FOR REQUIREMENTS. COORDINATE ALL ITEMS ATTACHED TO THE STRUCTURE SUCH AS CEILING, MECHANICAL EQUIPMENT ECT. WITH THE STRUCTURAL, ARCHITECTURAL, AND MPE DOCUMENTS. COORDINATE DEPTH OF MEMBERS WITH ARCHITECTURAL DOCUMENTS.

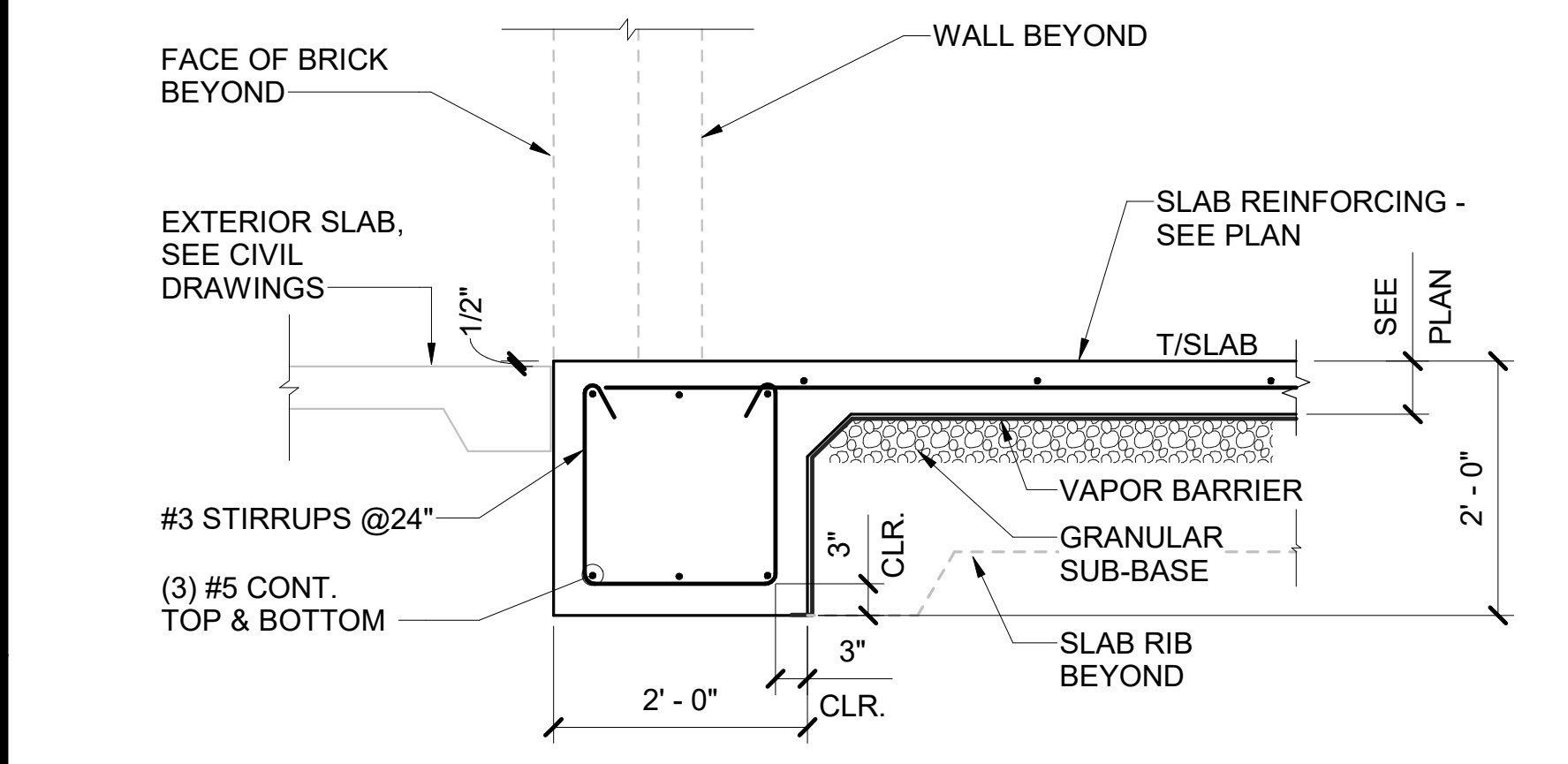
1 ROOF FRAMING PLAN
1/4" = 1'-0"

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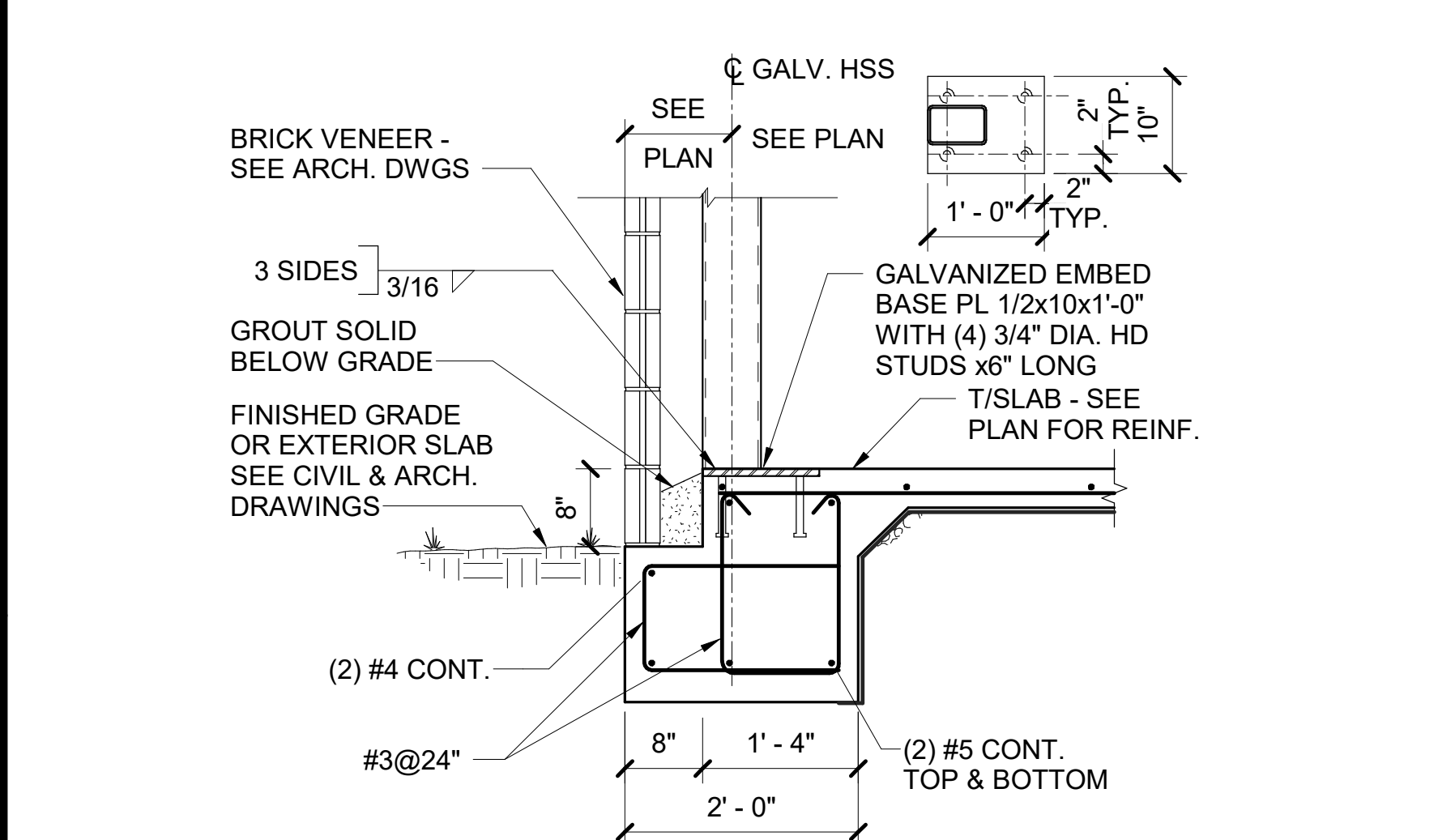




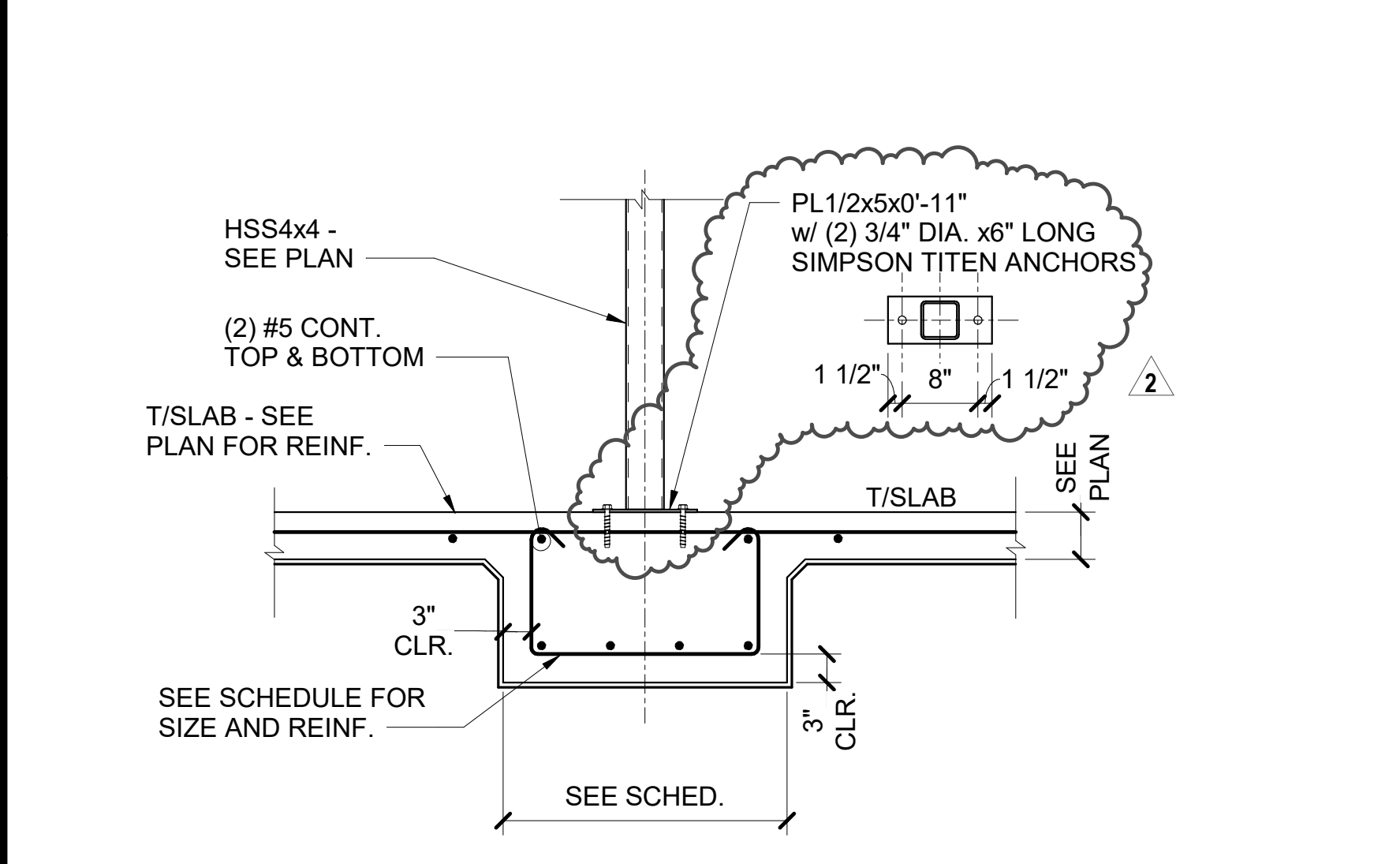
4 TURNDOWN SLAB SECTION AT DOOR AND TRUCK BAYS



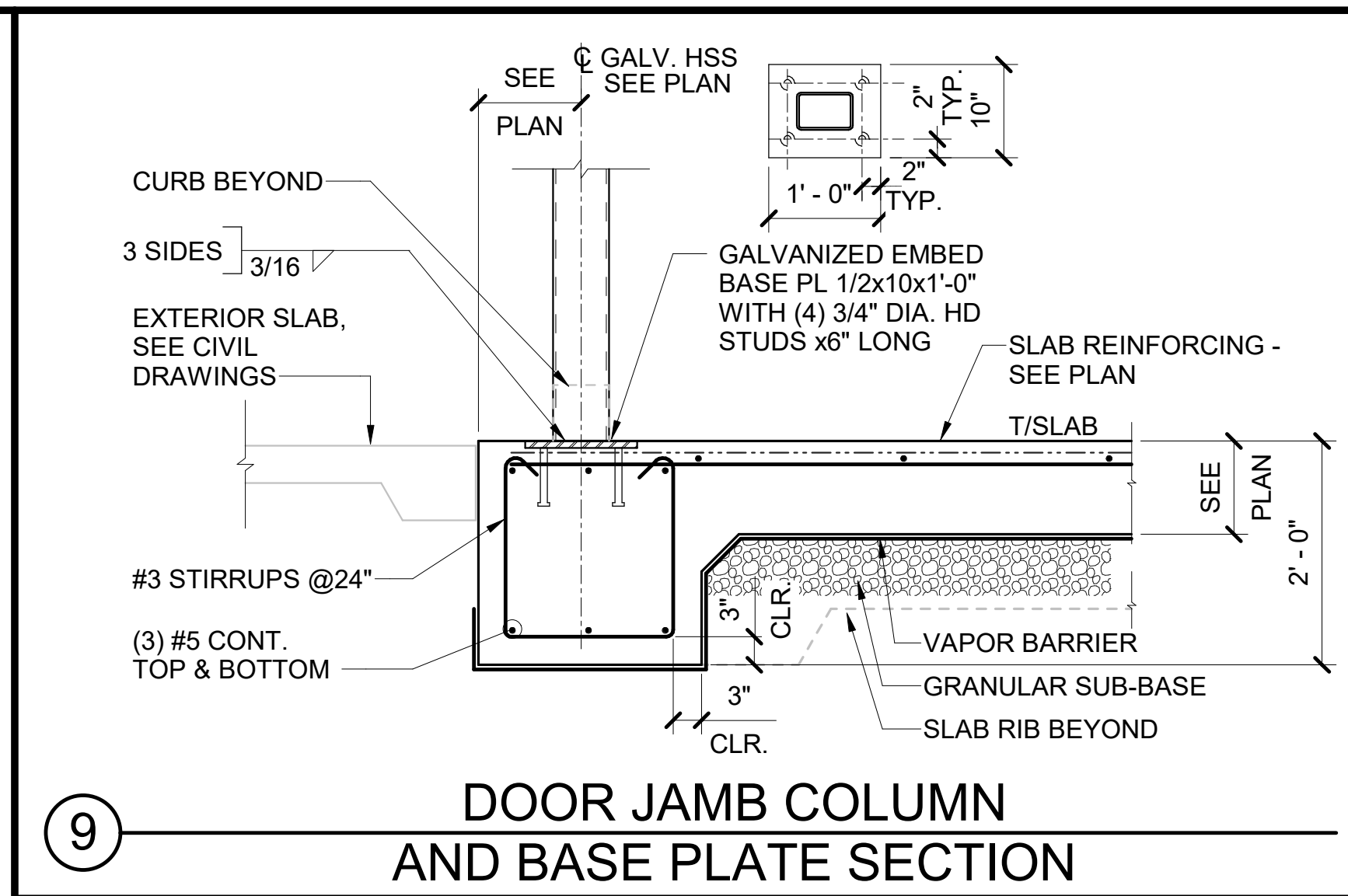
3 TURNDOWN SLAB SECTION AT DOOR OPENING



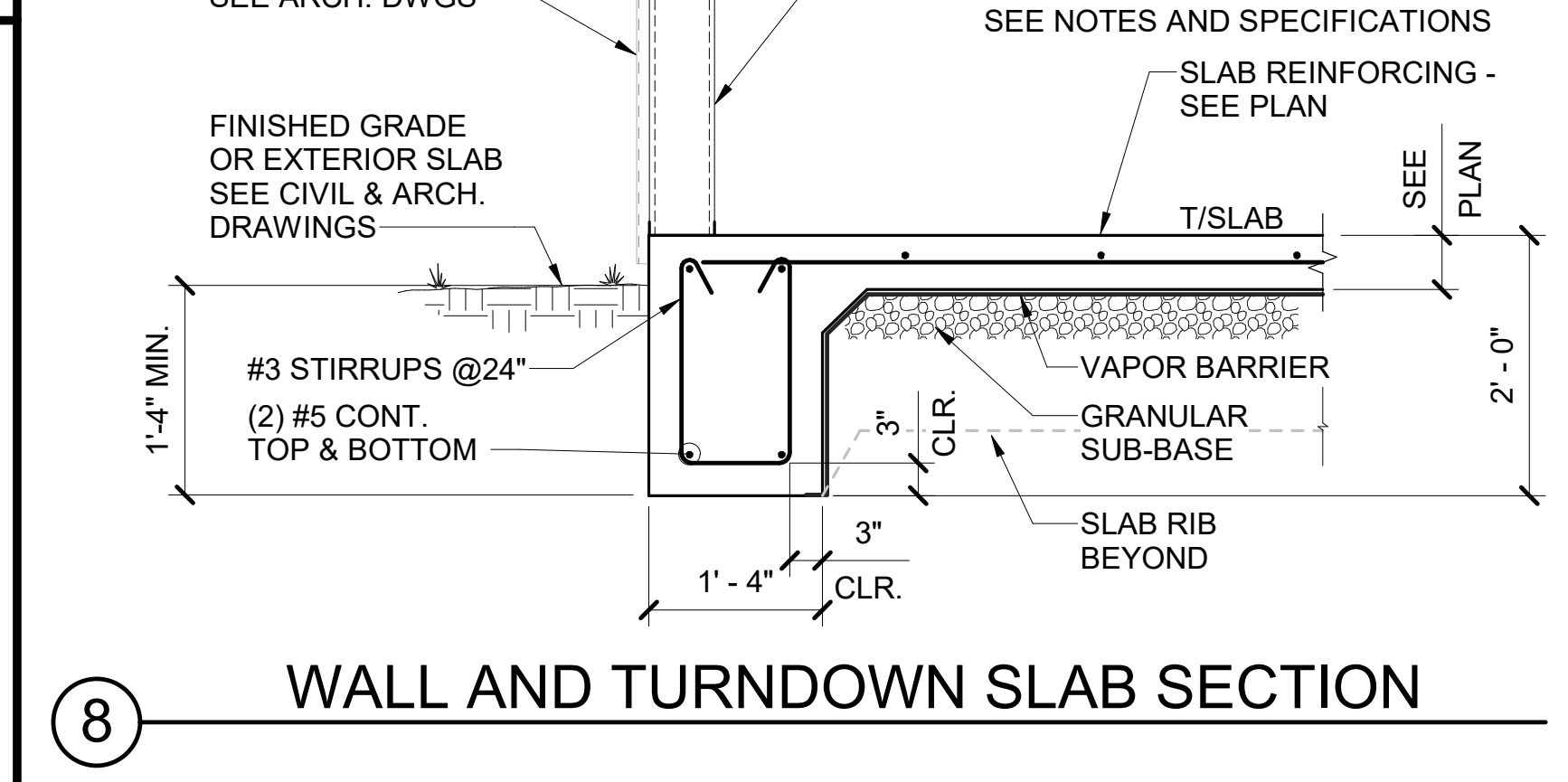
2 DOOR JAMB COLUMN AND BASE PLATE SECTION



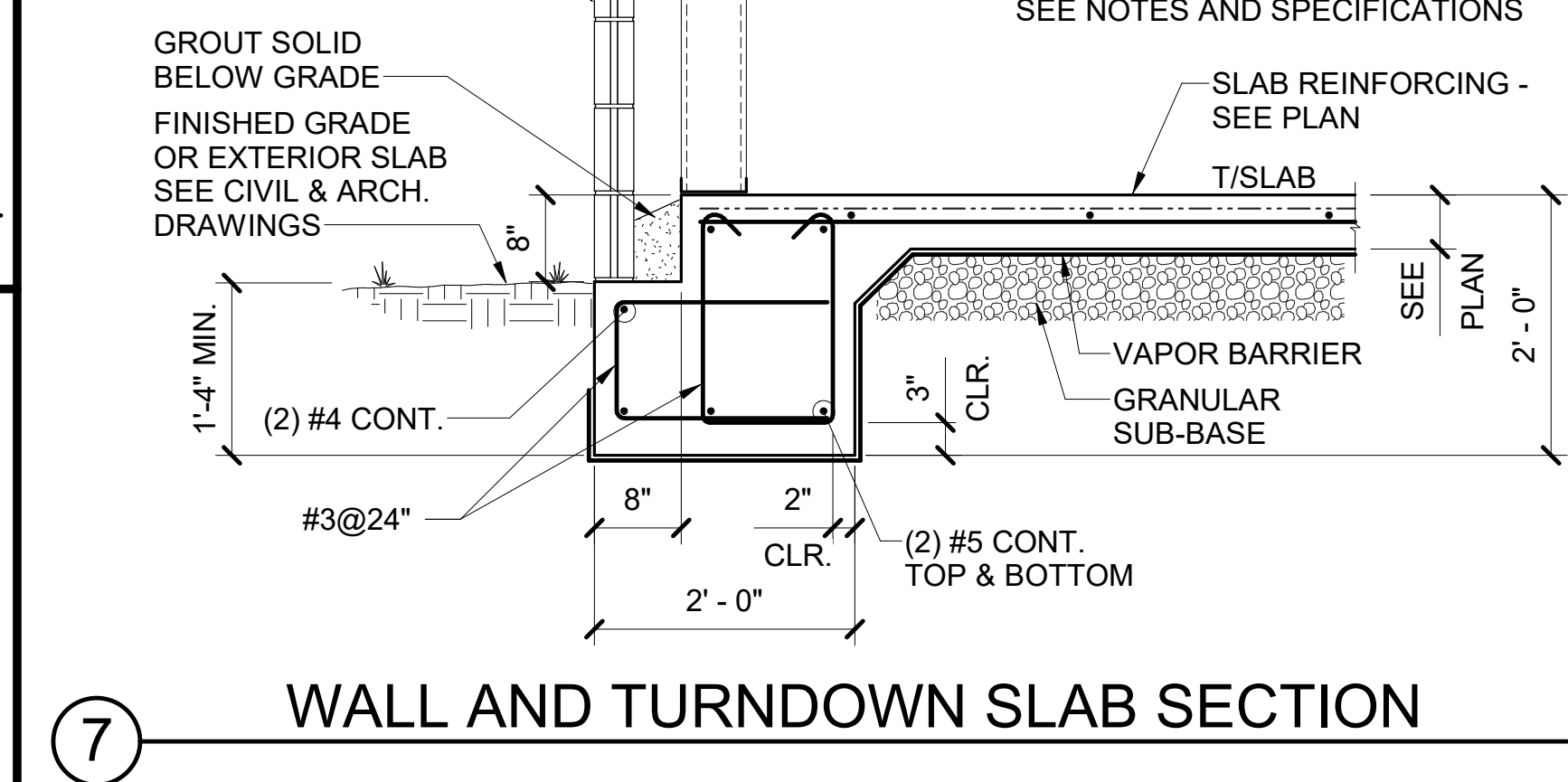
1 SECTION AT SLAB RIB



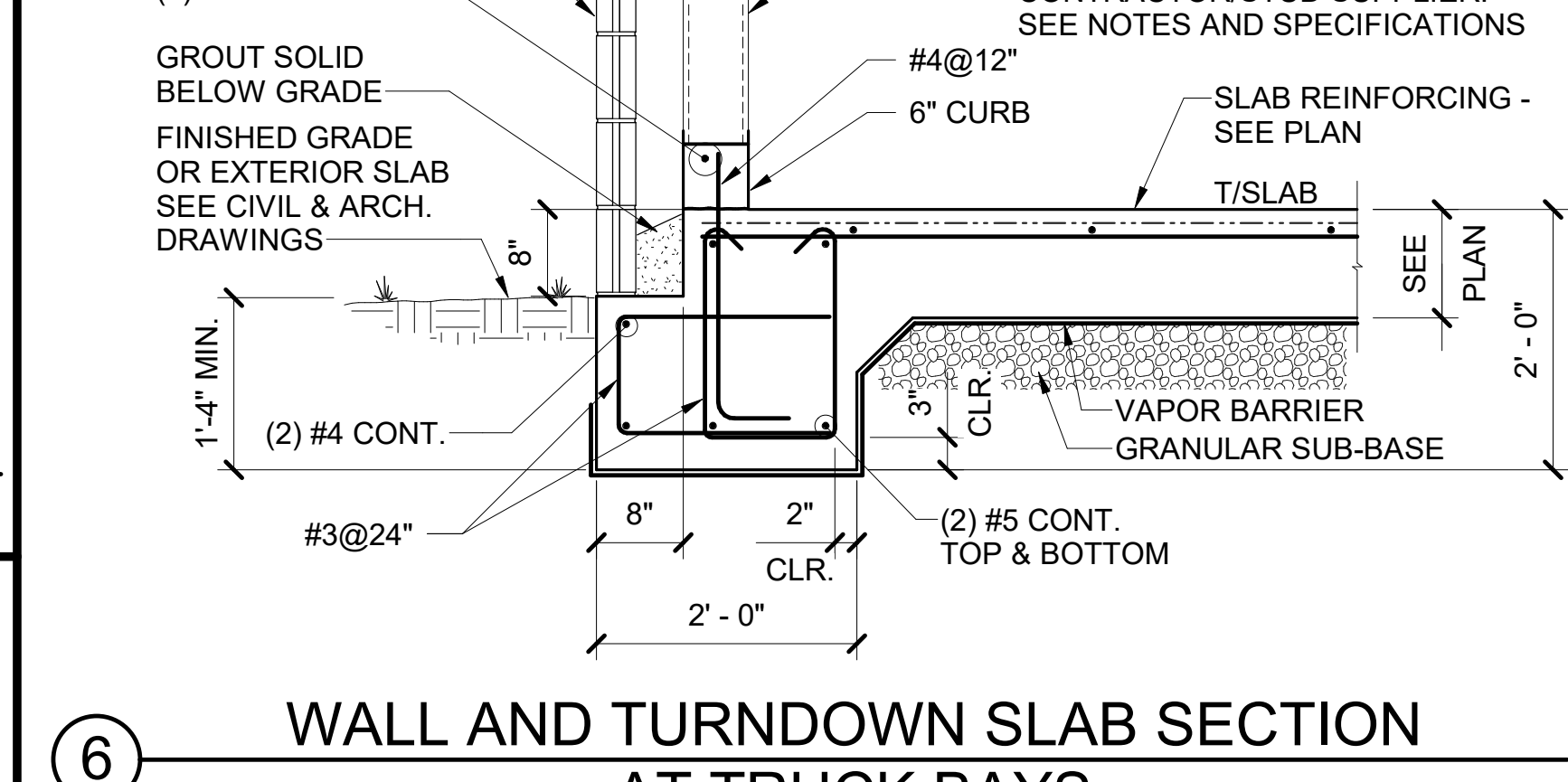
9 DOOR JAMB COLUMN AND BASE PLATE SECTION



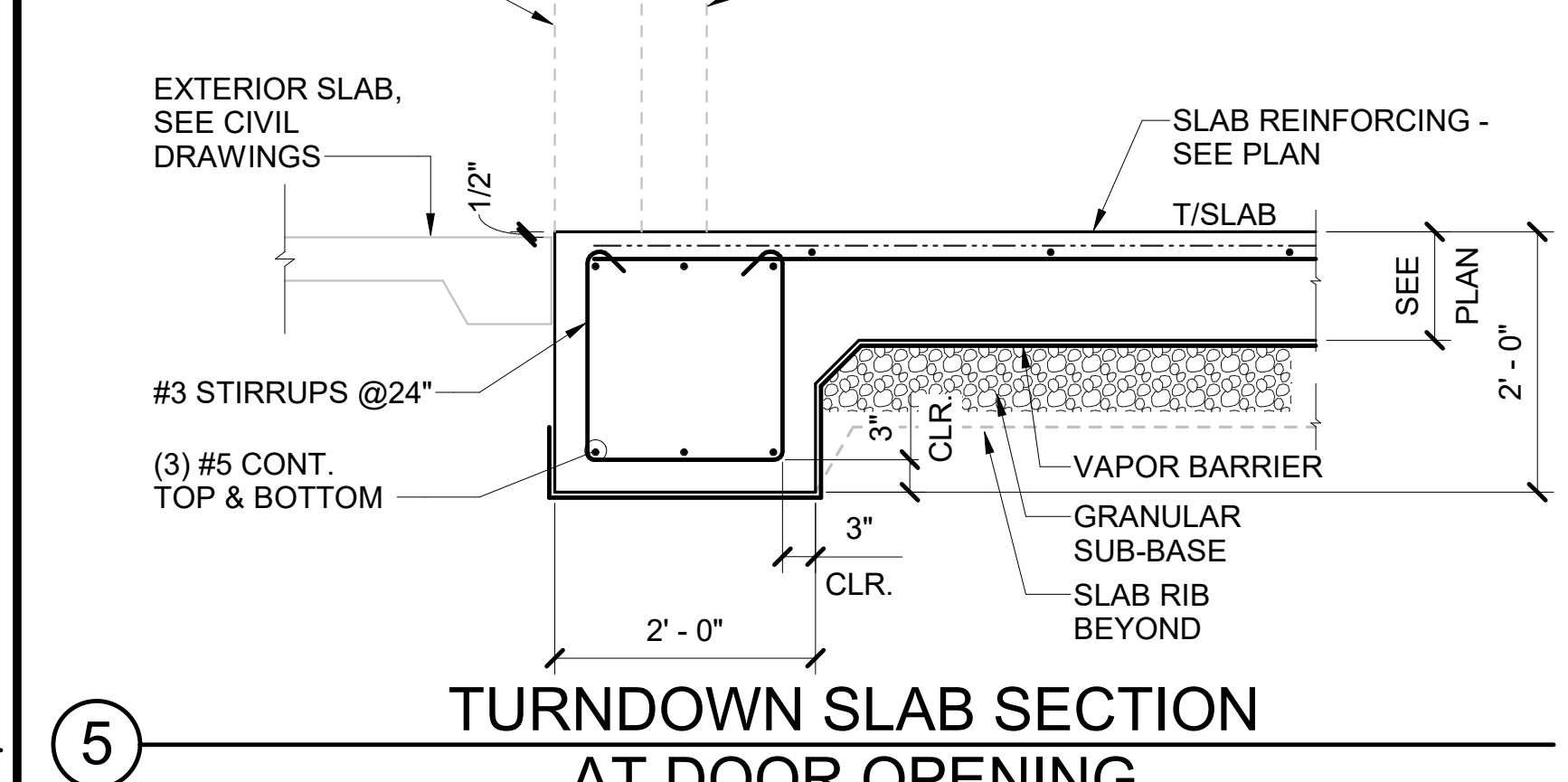
8 WALL AND TURNDOWN SLAB SECTION



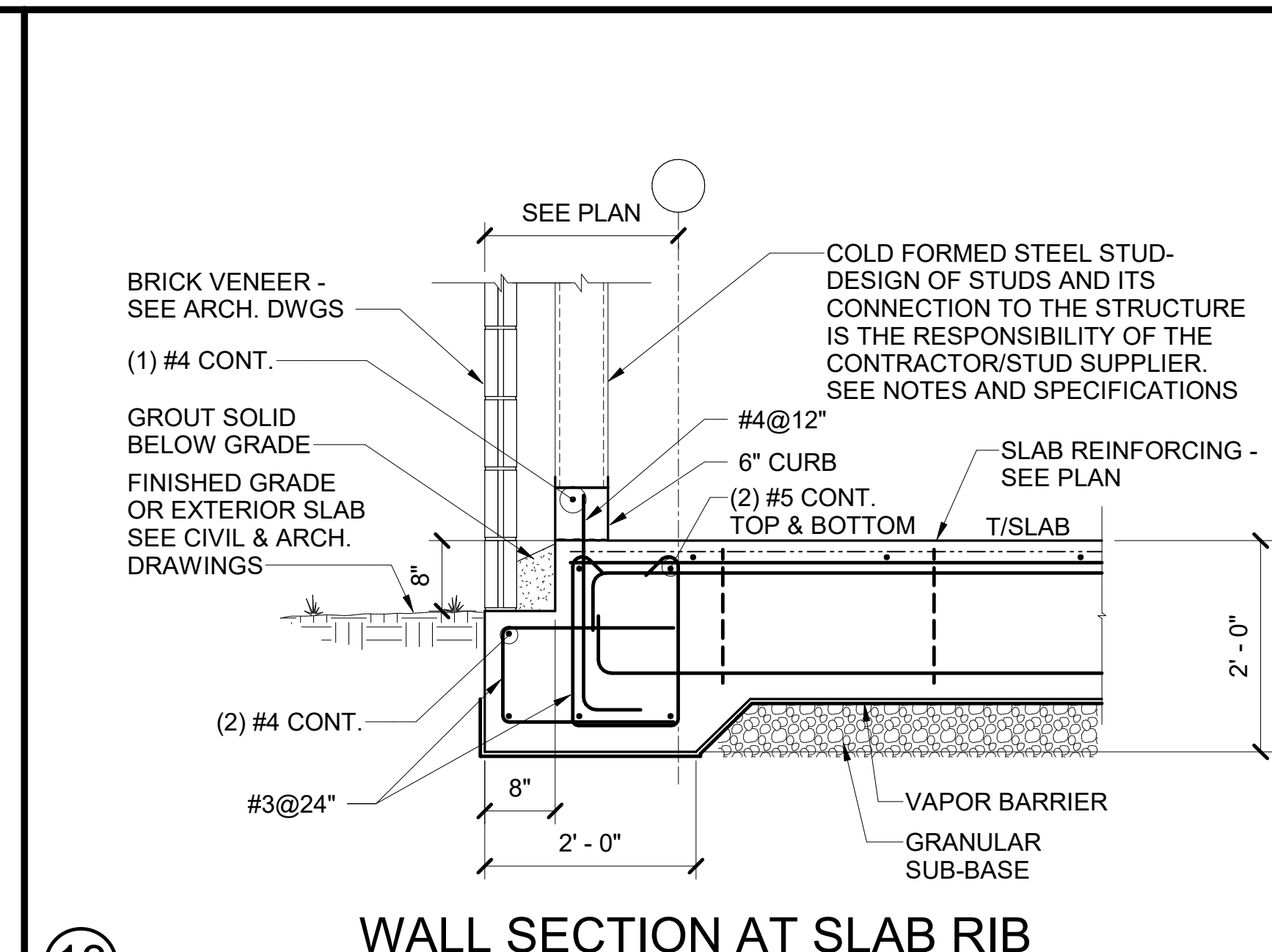
7 WALL AND TURNDOWN SLAB SECTION



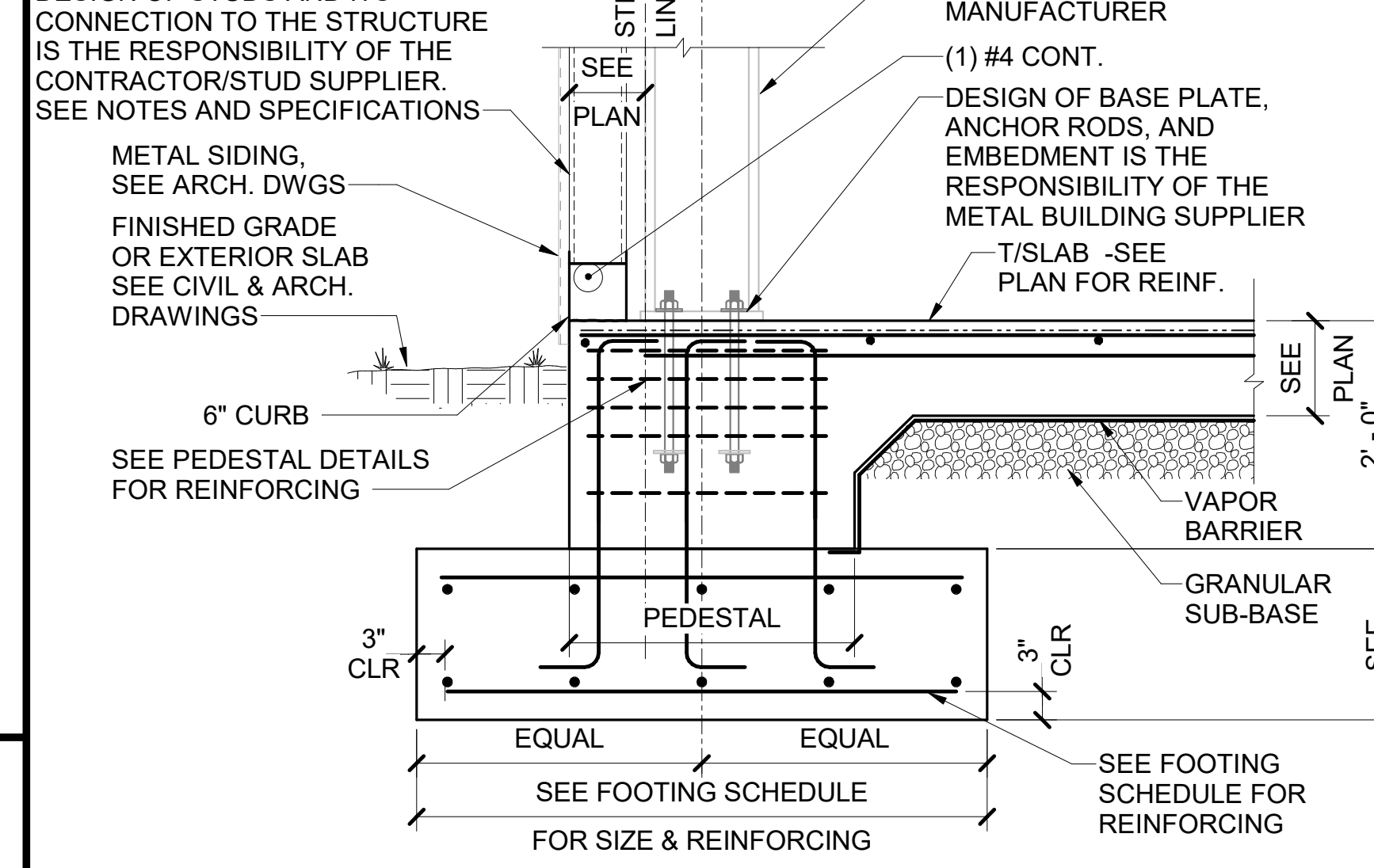
6 WALL AND TURNDOWN SLAB SECTION AT TRUCK BAYS



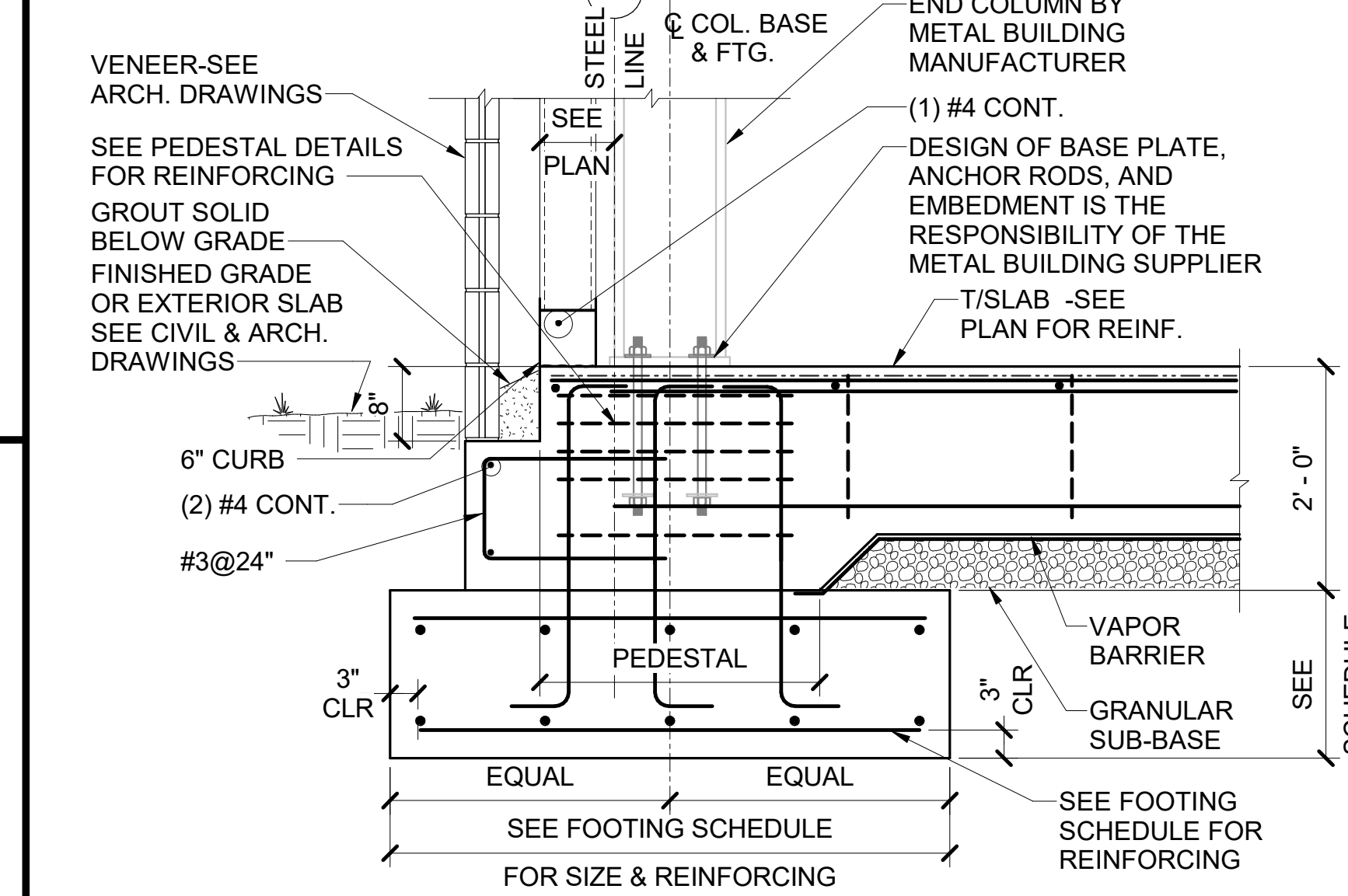
5 TURNDOWN SLAB SECTION AT DOOR OPENING



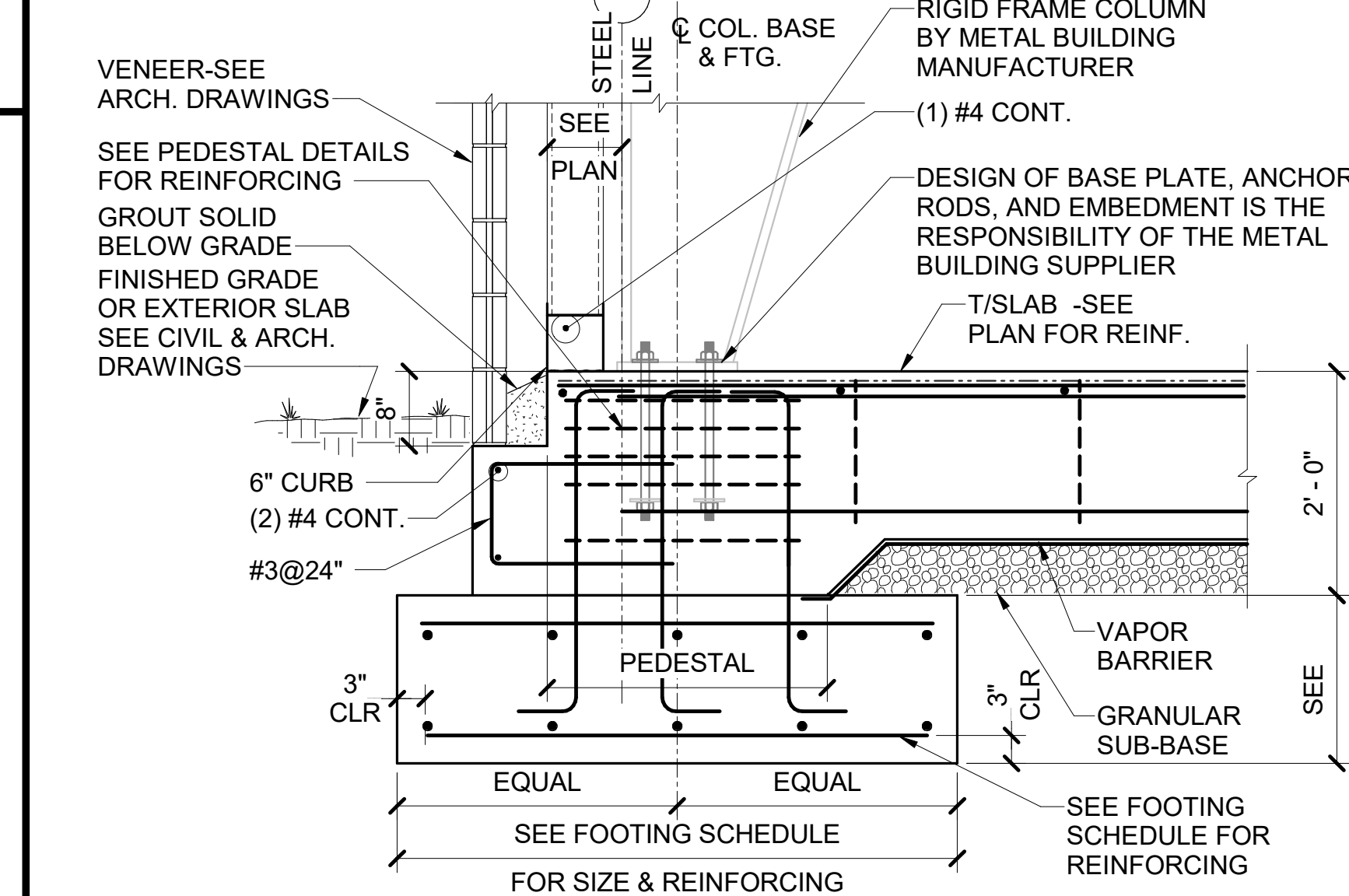
13 WALL SECTION AT SLAB RIB



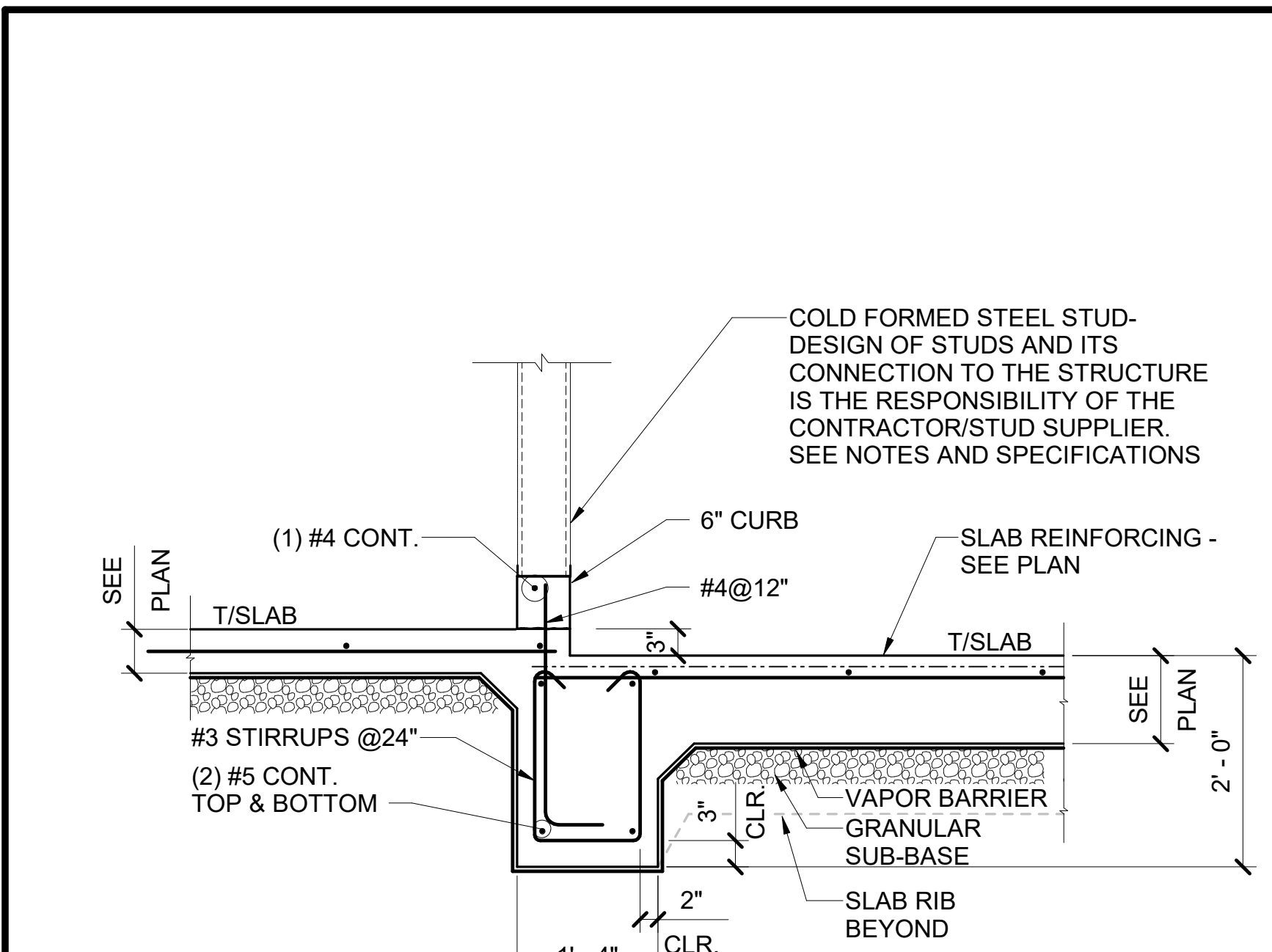
12 END COLUMN AND FOOTING SECTION



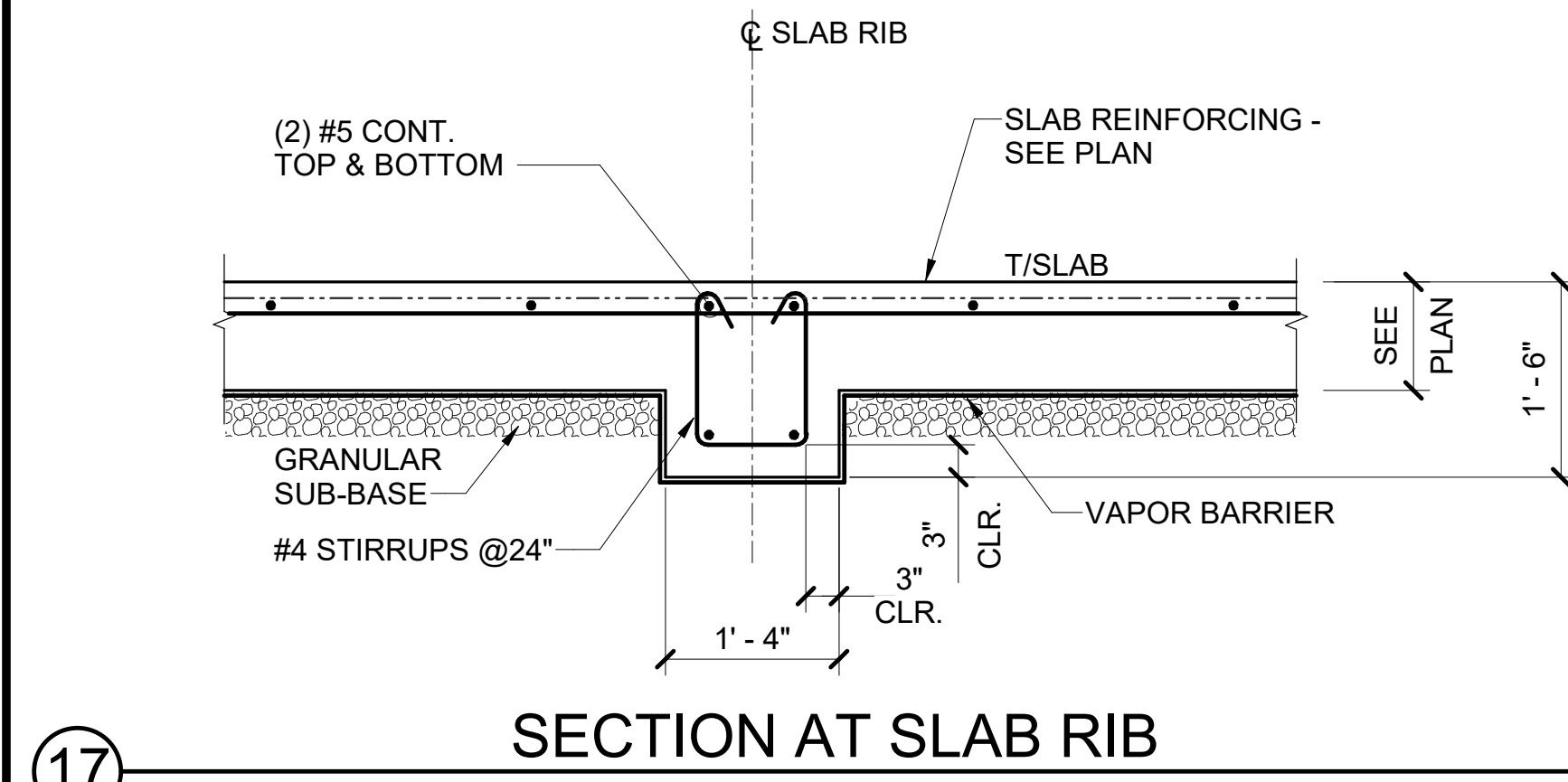
11 END COLUMN AND FOOTING SECTION



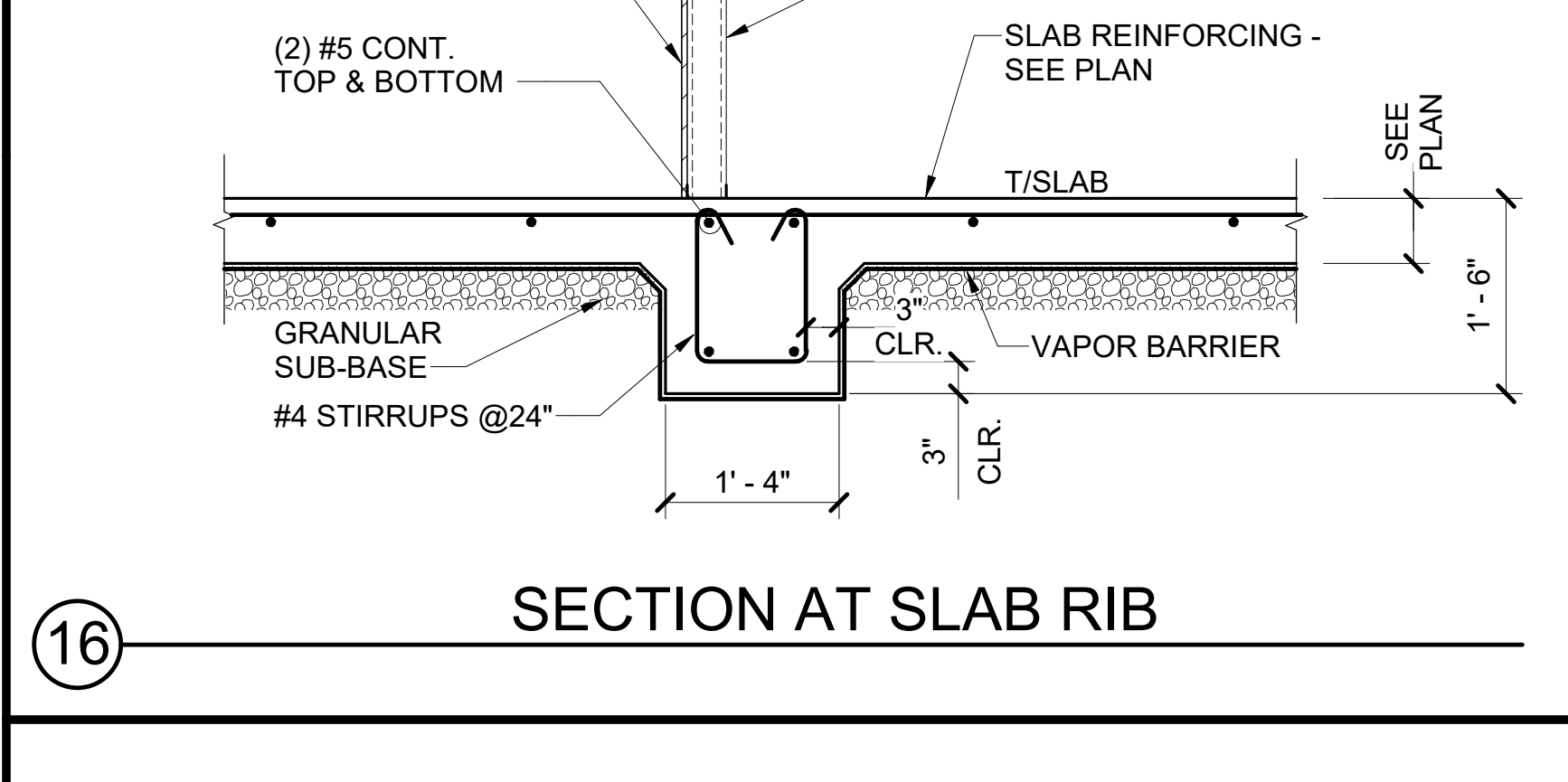
10 RIGID FRAME AND FOOTING SECTION



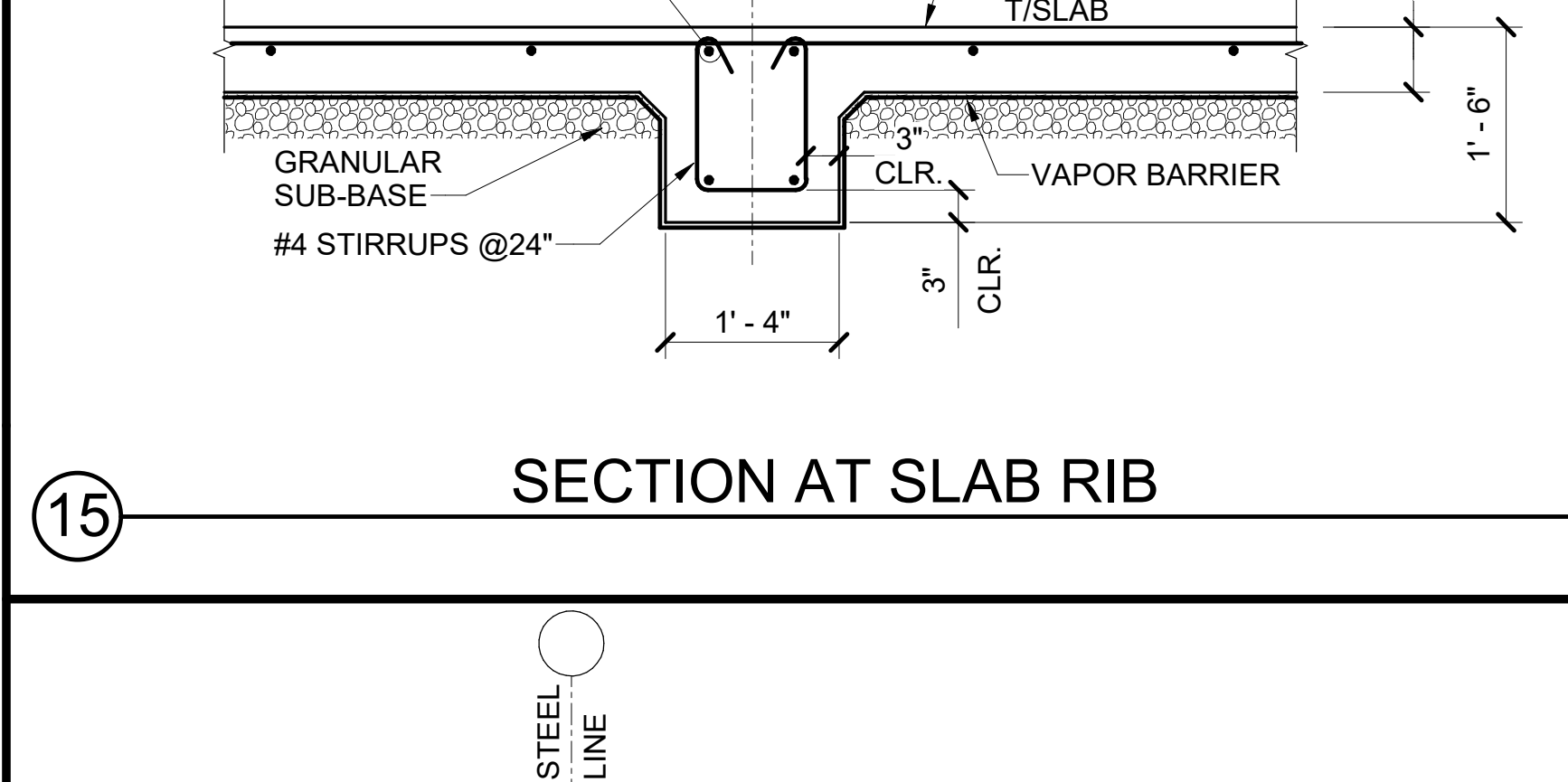
18 WALL AND TURNDOWN SLAB SECTION AT INTERIOR WALL



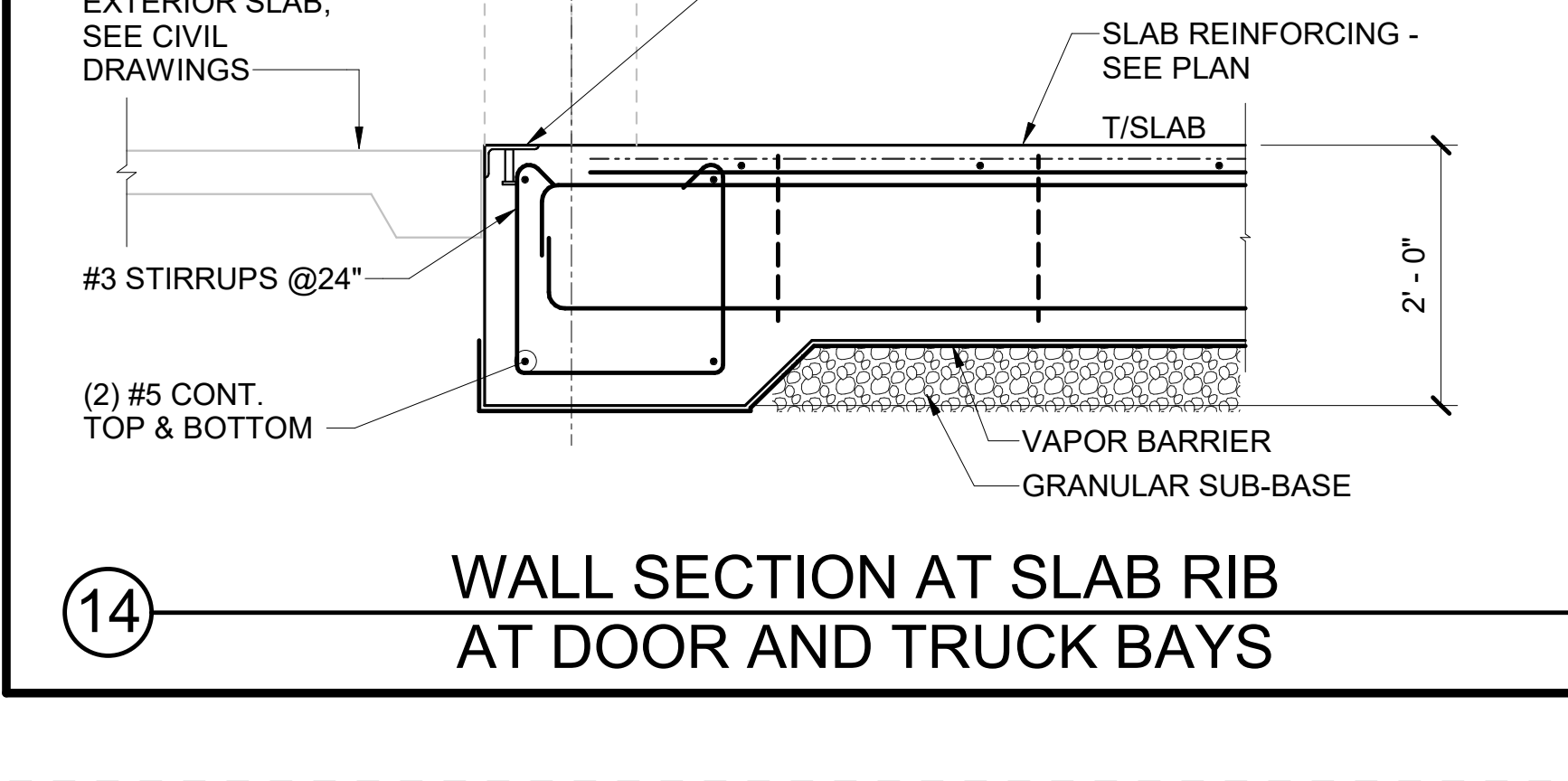
17 SECTION AT SLAB RIB



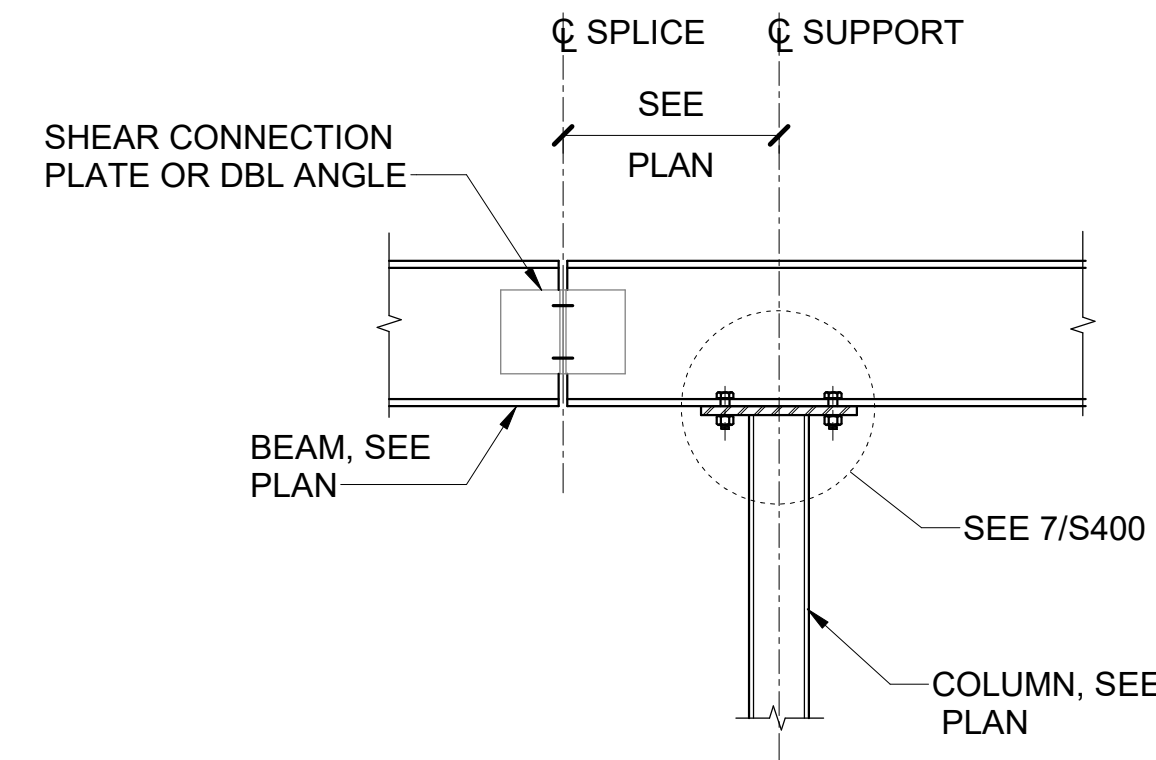
16 SECTION AT SLAB RIB



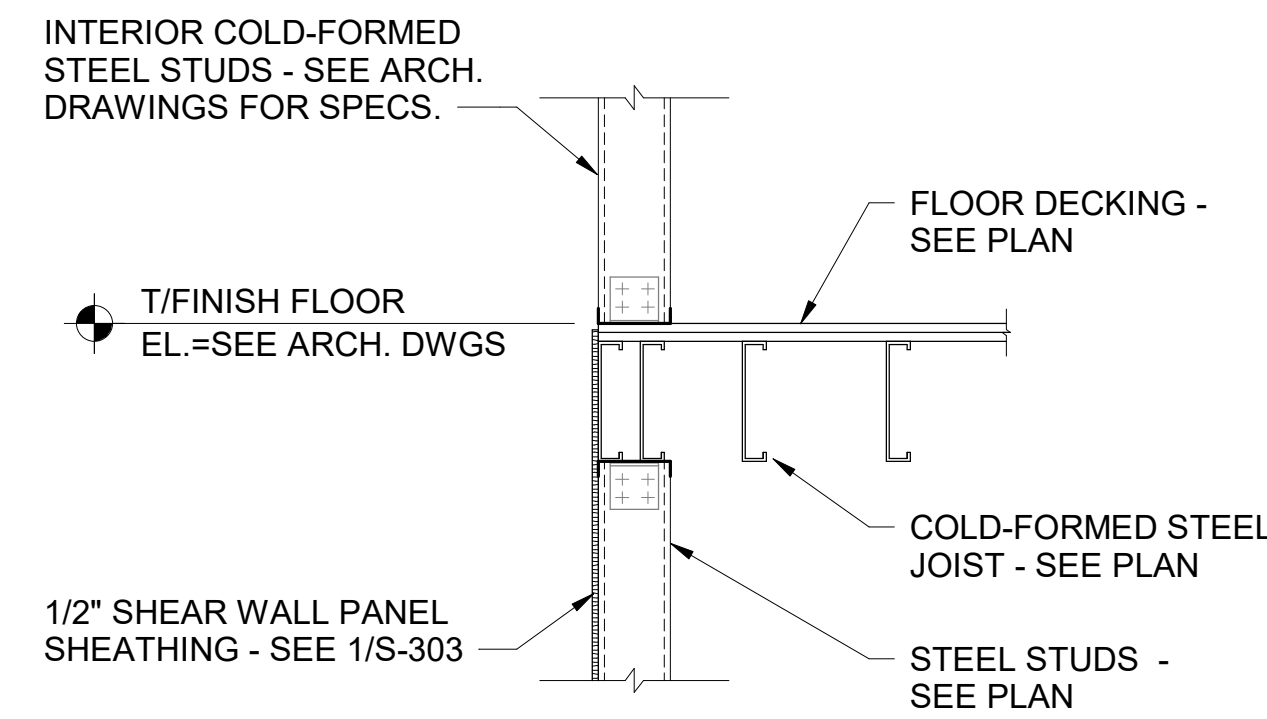
15 SECTION AT SLAB RIB



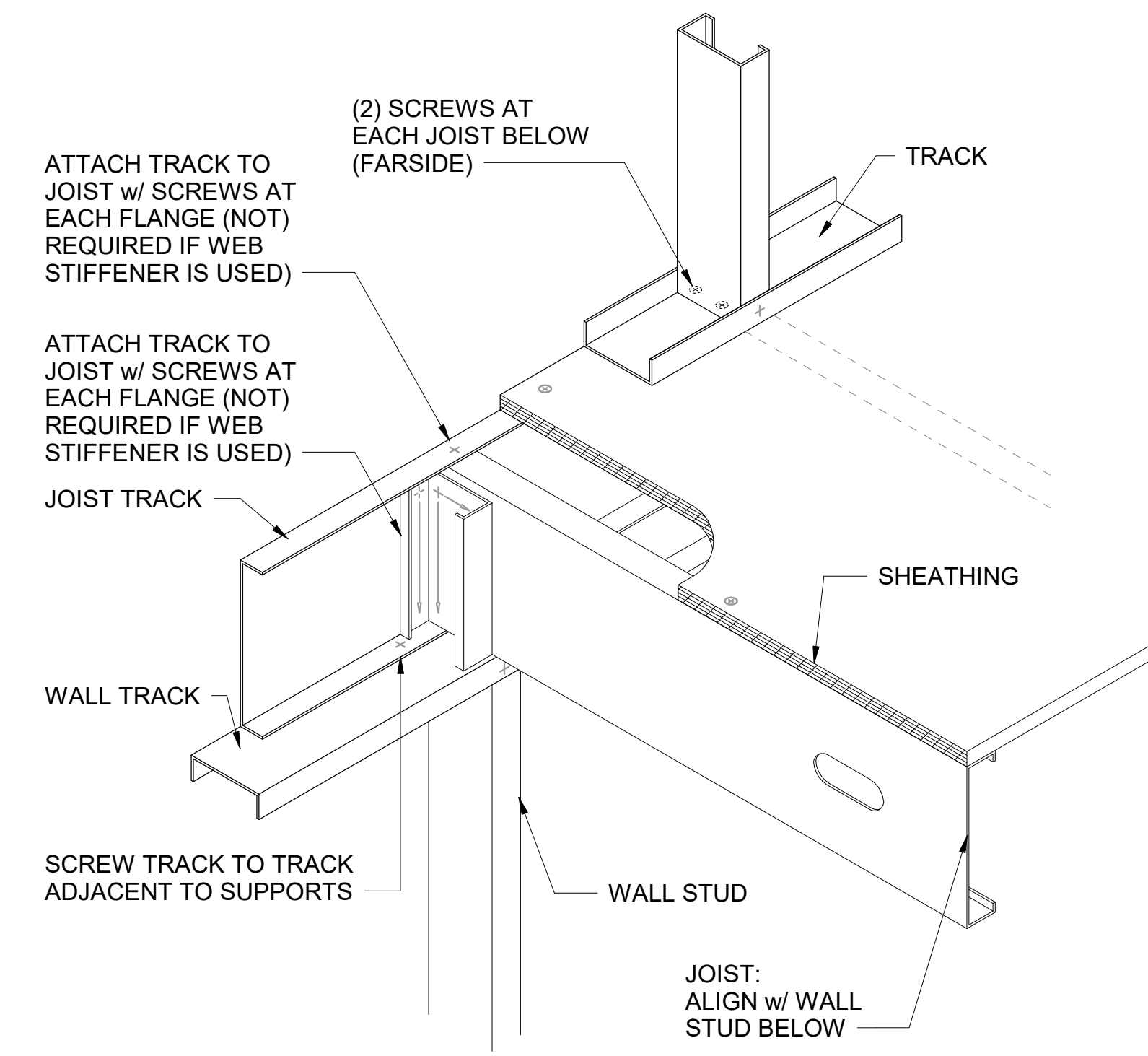
14 WALL SECTION AT SLAB RIB AT DOOR AND TRUCK BAYS



13 SHEAR SPLICE CONNECTION DETAIL



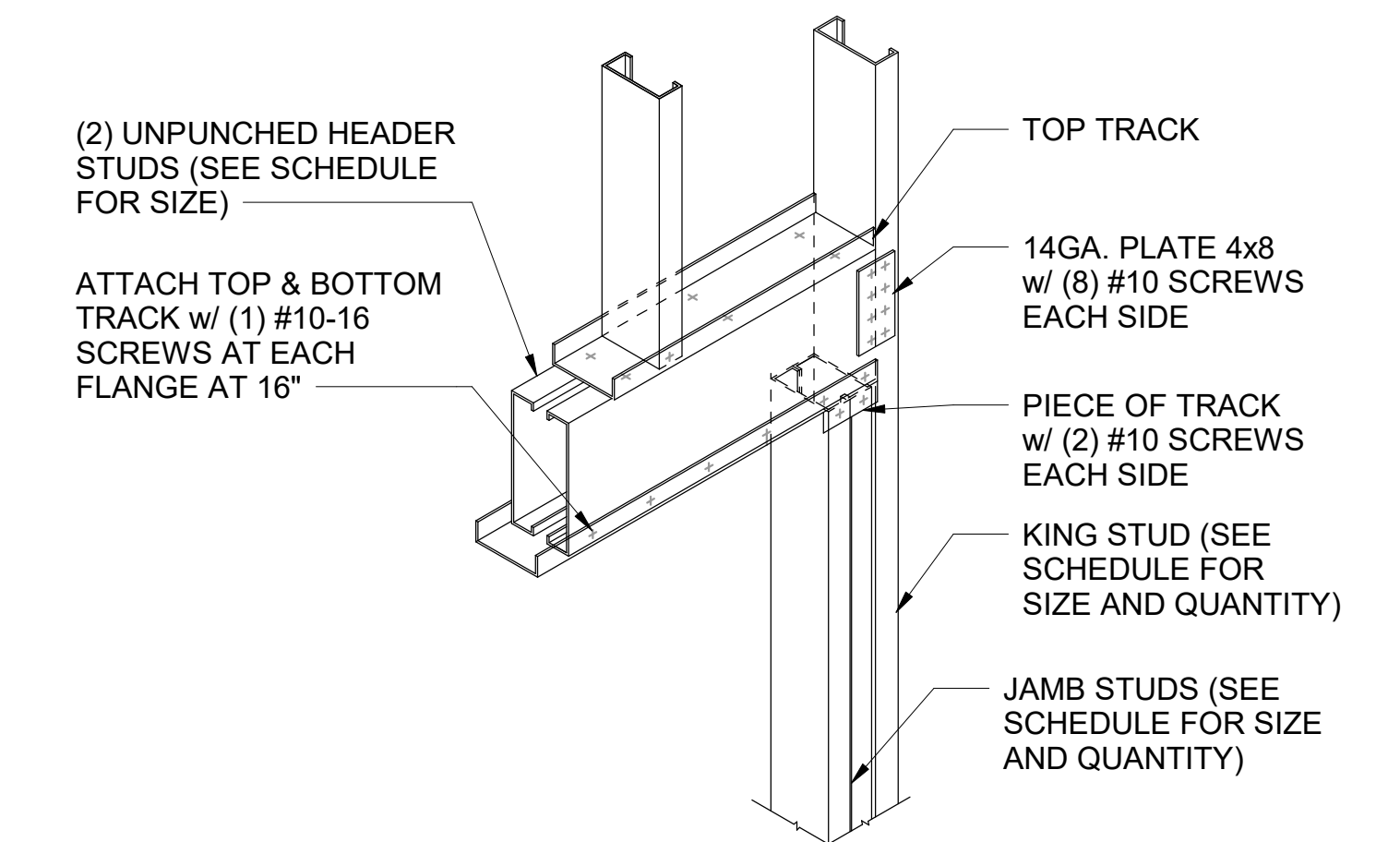
9 INTERIOR FRAMING SECTION



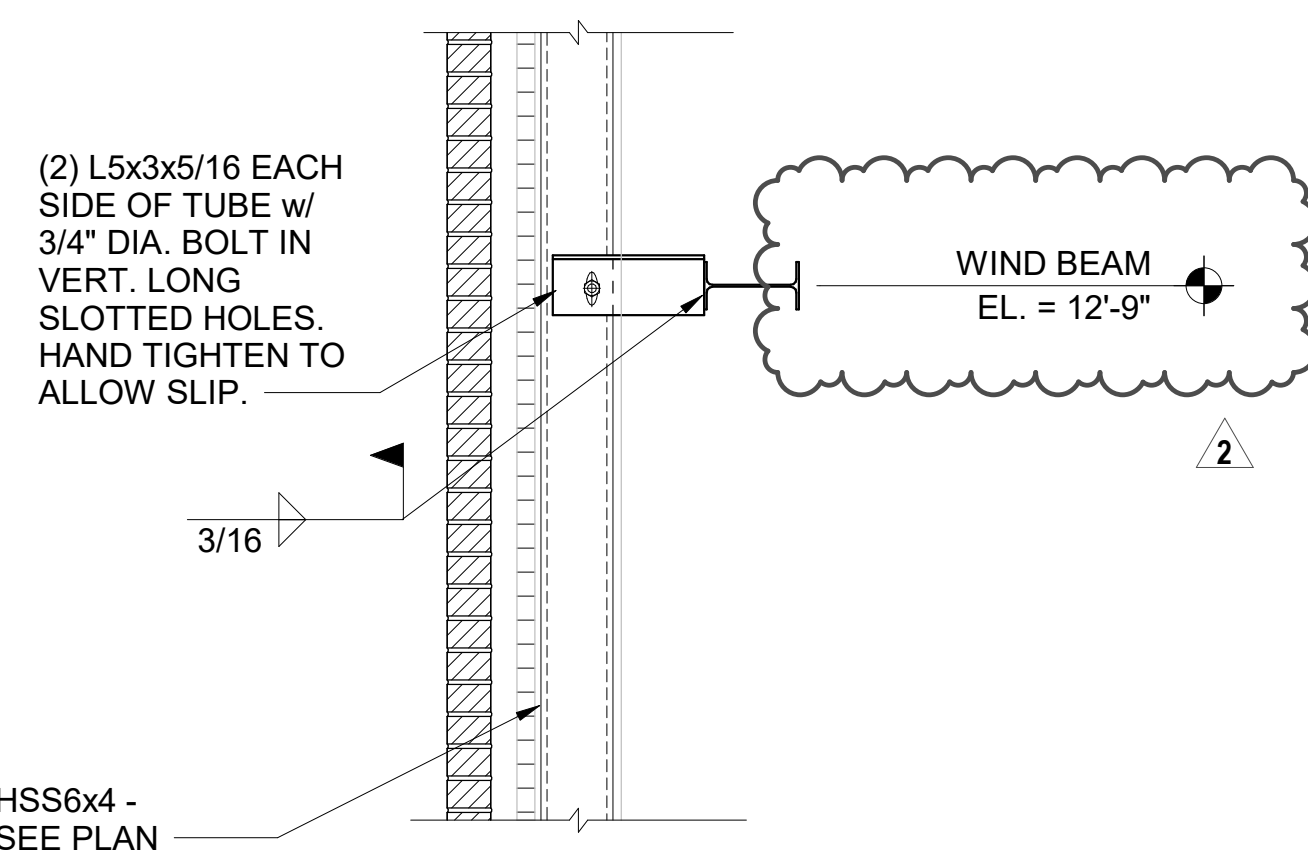
5 FLOOR JOIST FRAMING DETAIL

| HEADER SCHEDULE | | | | |
|-----------------|----------------------|---------------------|---------------------|---------------------|
| HEADER MARK | HEADER STUDS | CLOSURE TRACK | JAMB STUDS | NO. KING STUDS |
| H1 | (2) 600S137-43 MIL. | (2) 600T137-33 MIL. | (2) 600S137-43 MIL. | (1) 600S137-43 MIL. |
| H2 | (2) 1000S137-63 MIL. | (2) 600T137-33 MIL. | (2) 600S137-68 MIL. | (1) 600S137-43 MIL. |
| H3 | (2) 600S137-43 MIL. | (2) 600T137-33 MIL. | (2) 600S137-43 MIL. | (1) 600S137-43 MIL. |

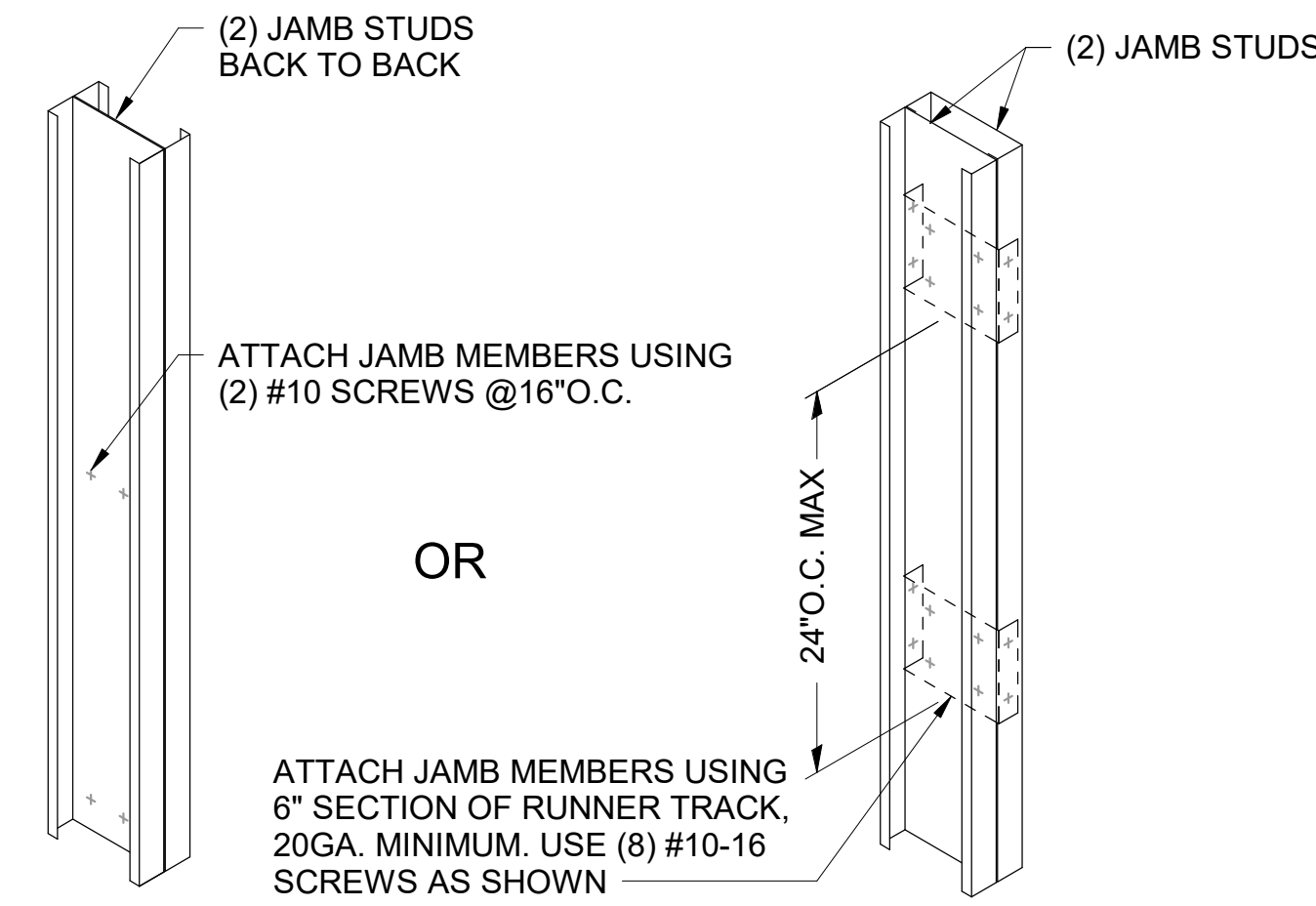
NOTE: WHERE H3 HEADERS ATTACH TO STEEL HSS TUBE, EXCLUDE THE JAMB STUDS AND USE A TSN 68 HE(H) w/ 8" WELDS TO THE TUBE ON BOTH SIDES AND (12) #10 SCREWS TO THE HEADER ON BOTH SIDES.



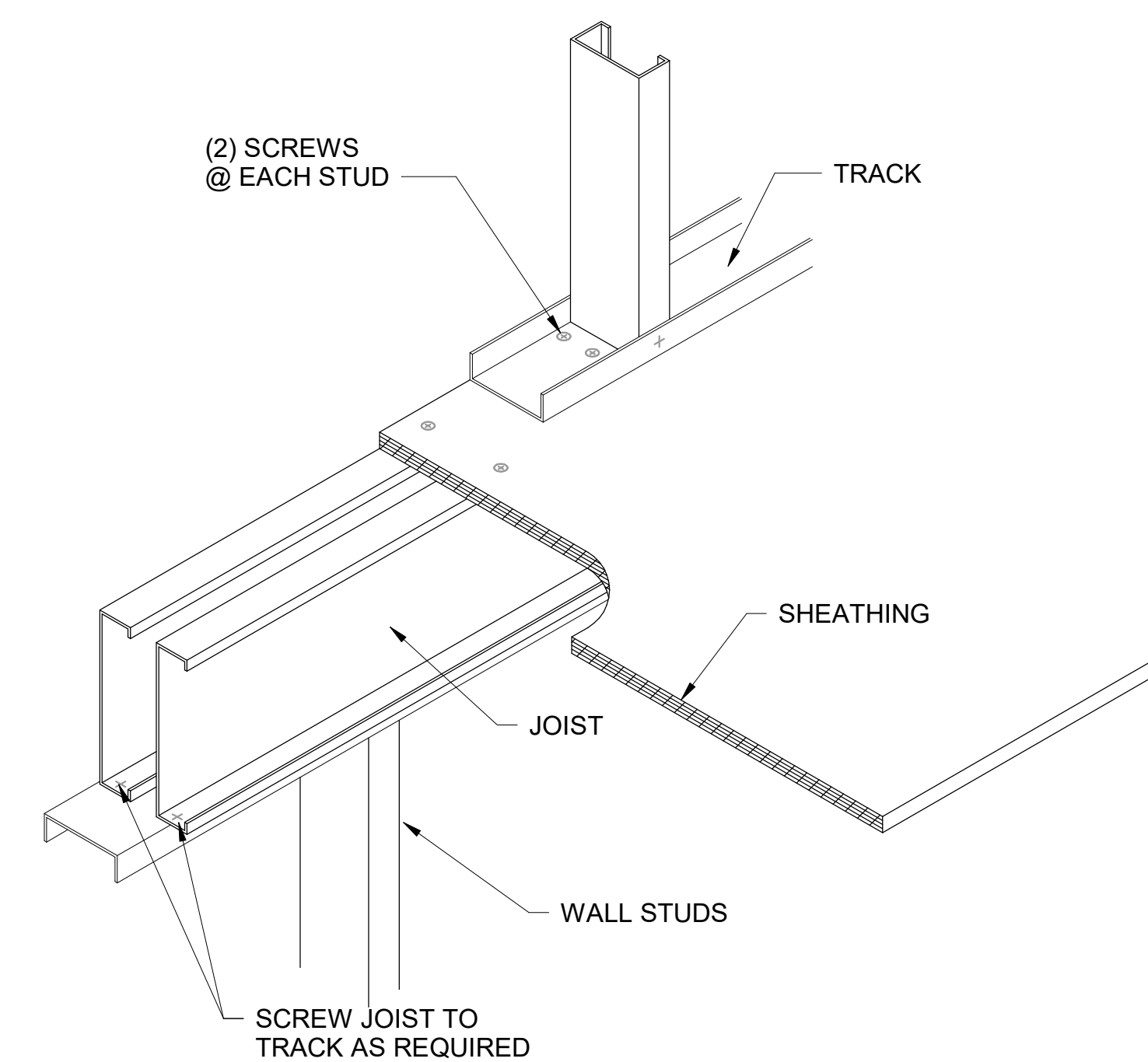
2 STRUCTURAL BOX HEADER DETAIL



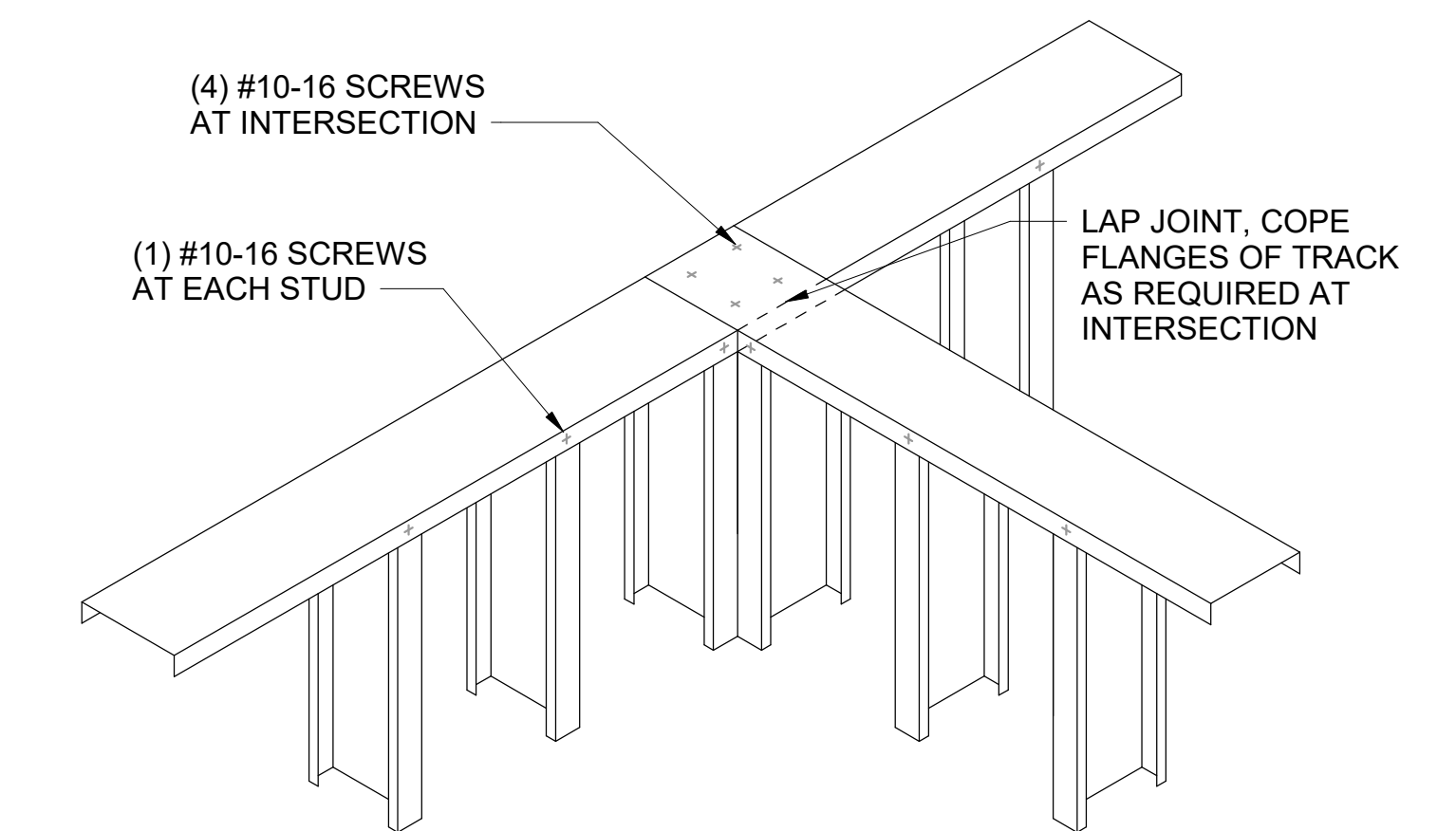
12 SECTION AT WIND BEAM



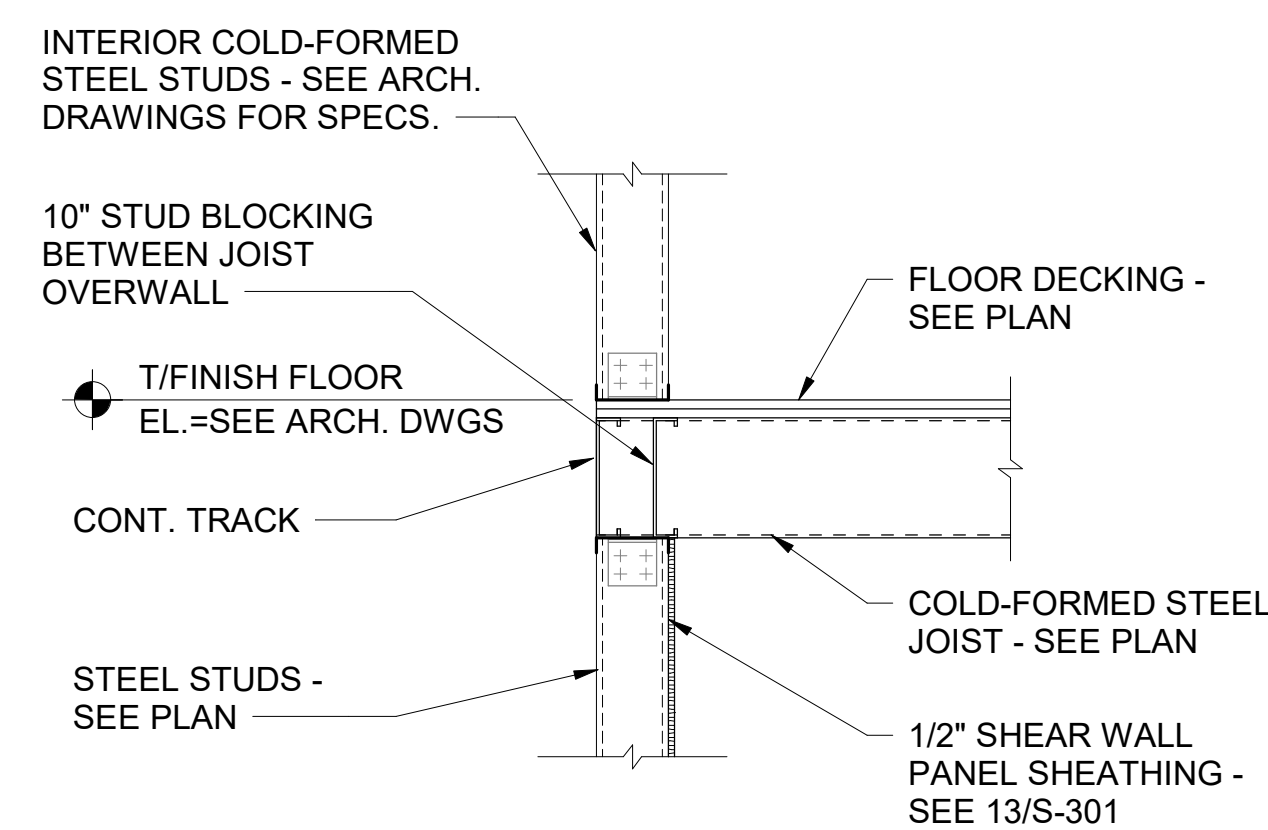
8 TIED JAMB STUD DETAIL



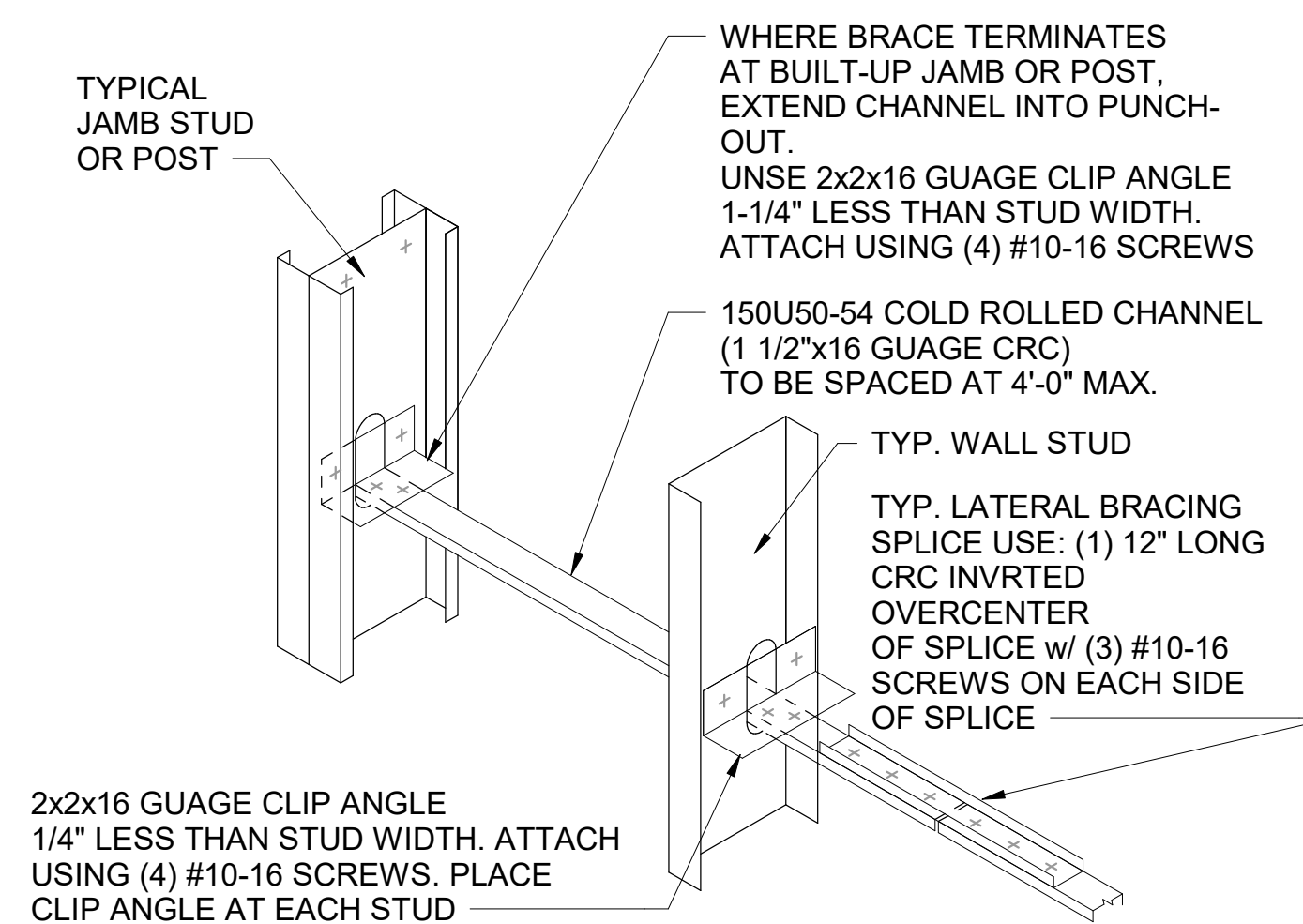
4 FLOOR JOIST FRAMING DETAIL



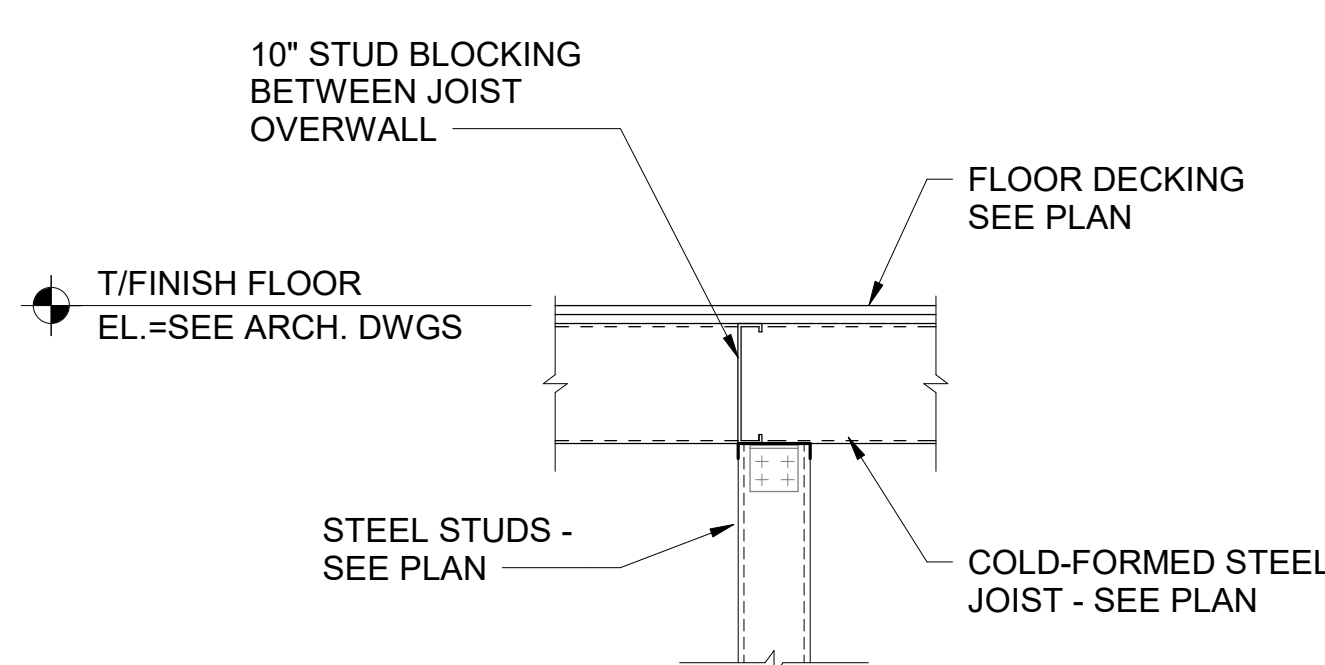
1 WALL INTERSECTION DETAIL



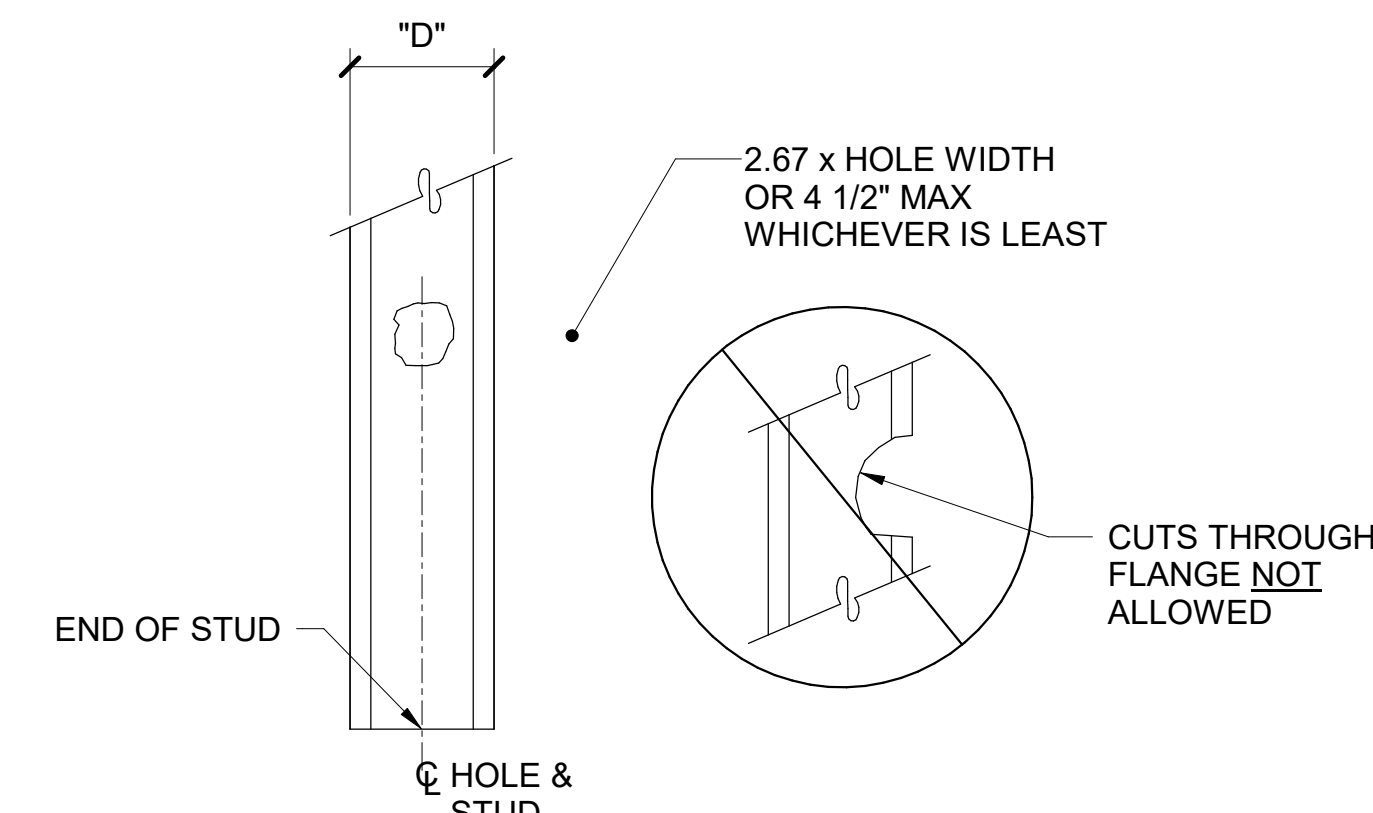
11 INTERIOR FRAMING SECTION



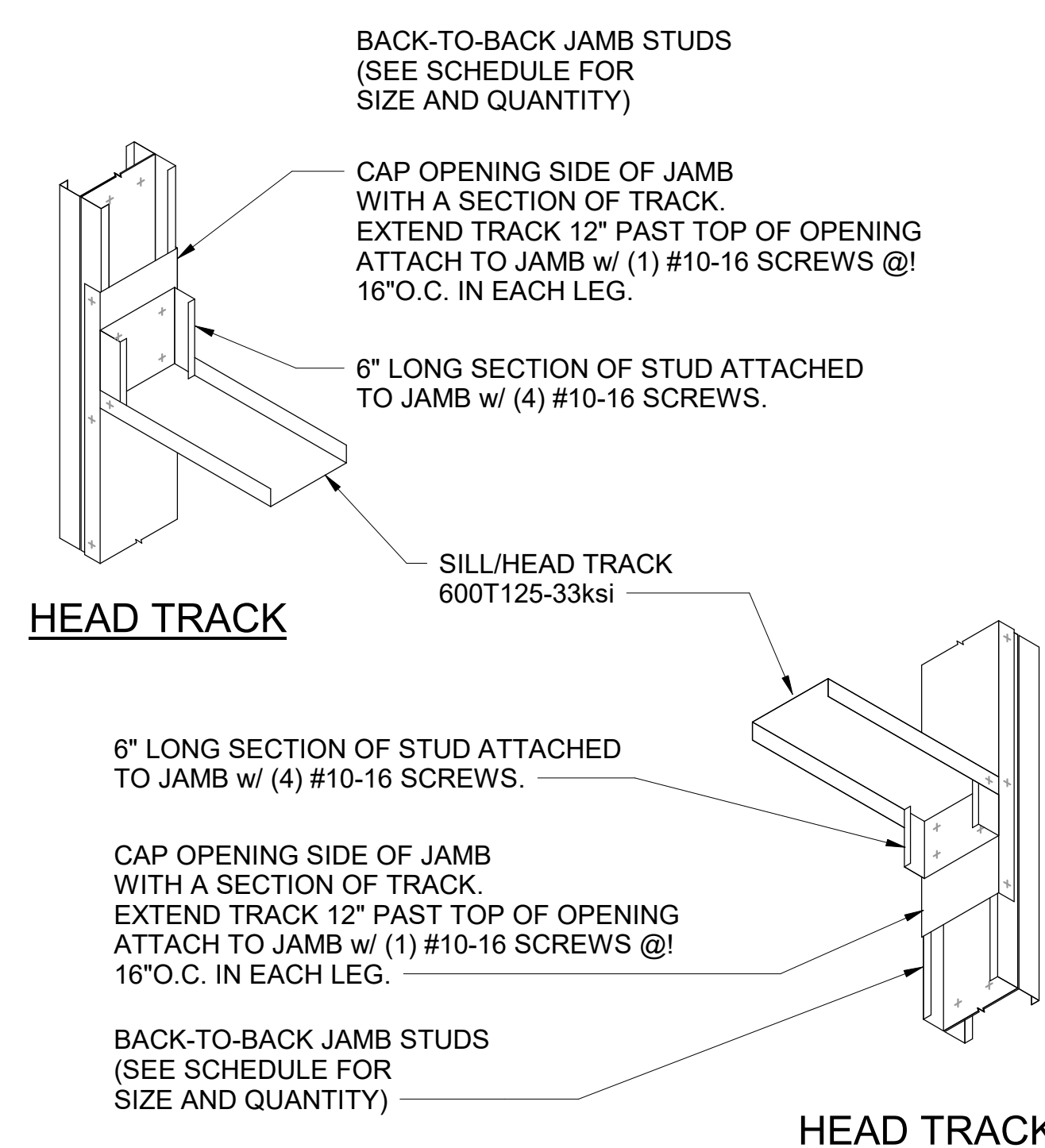
7 STUD LATERAL BRACING DETAIL



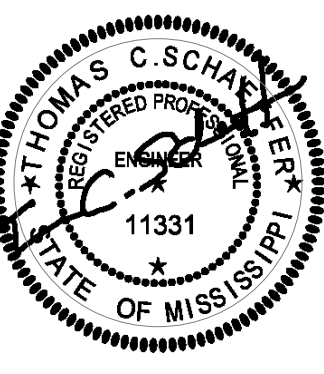
10 INTERIOR FRAMING SECTION



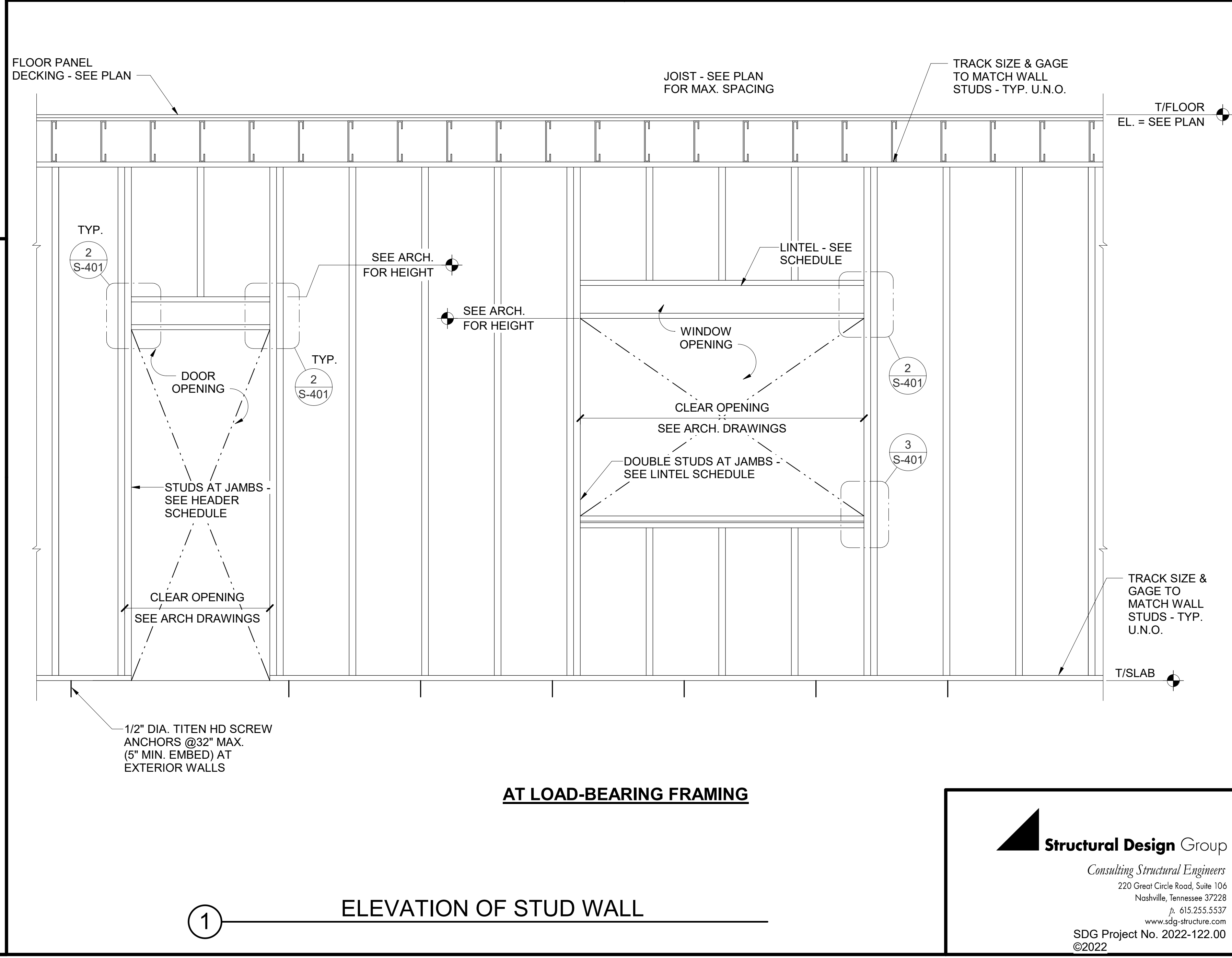
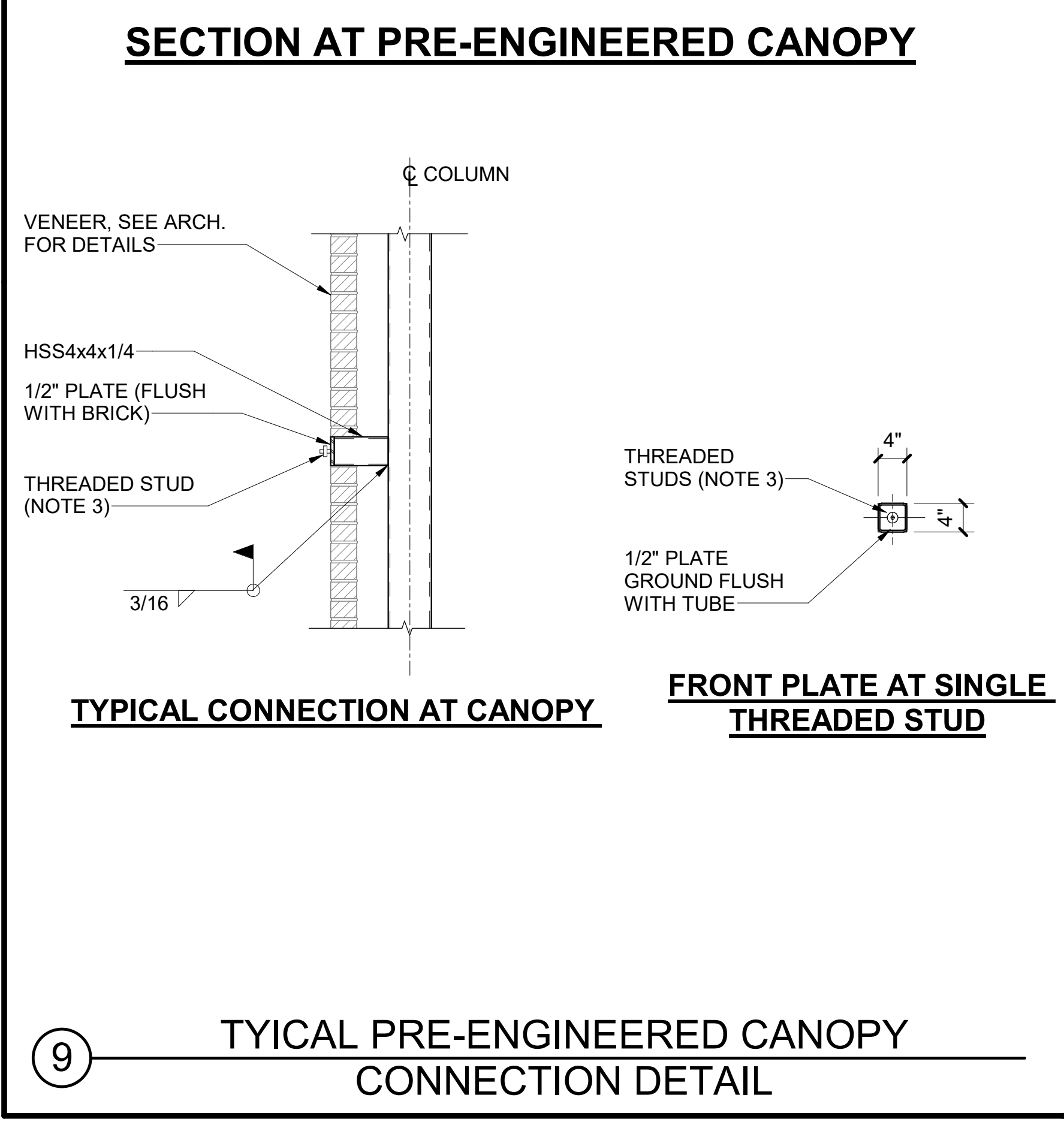
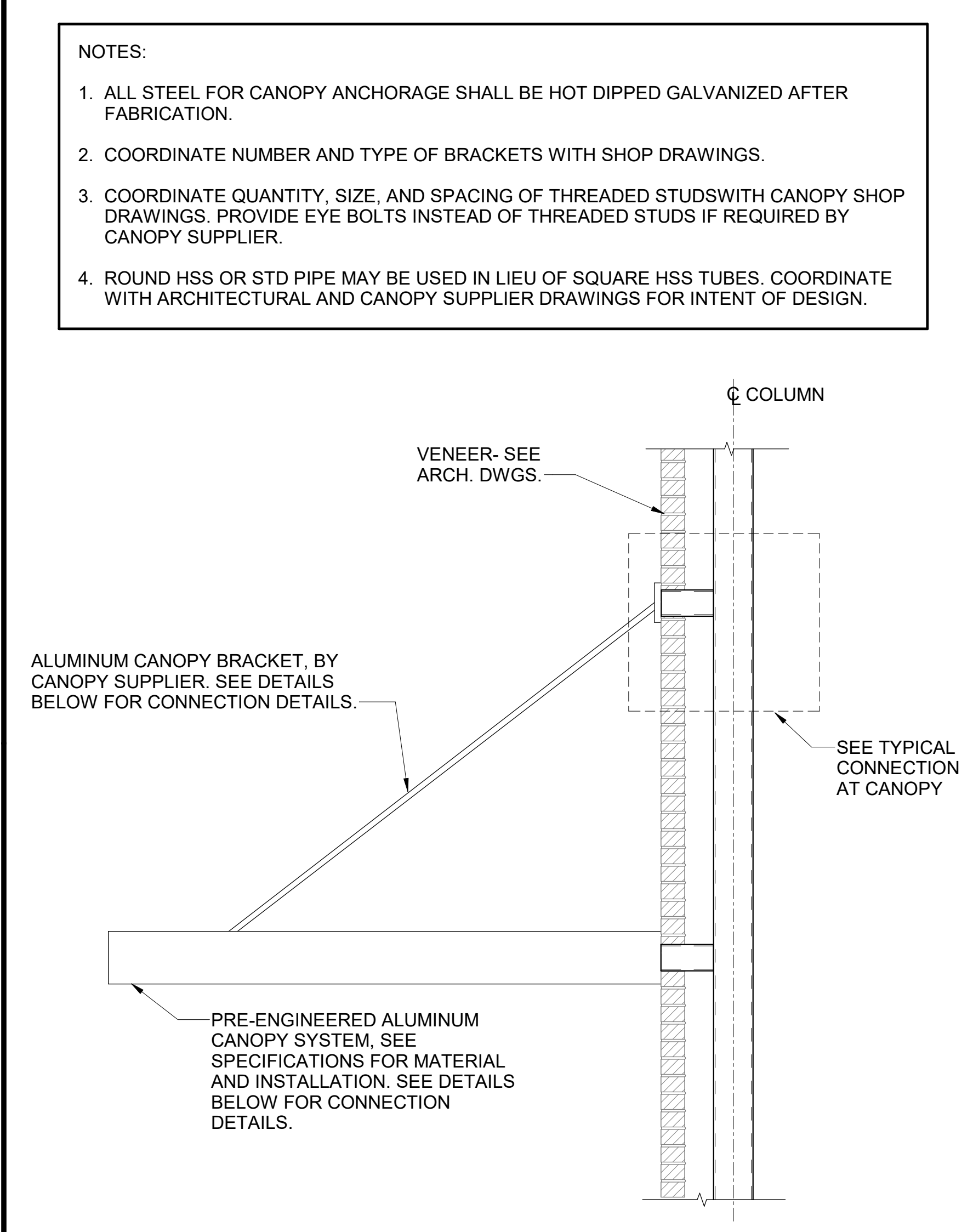
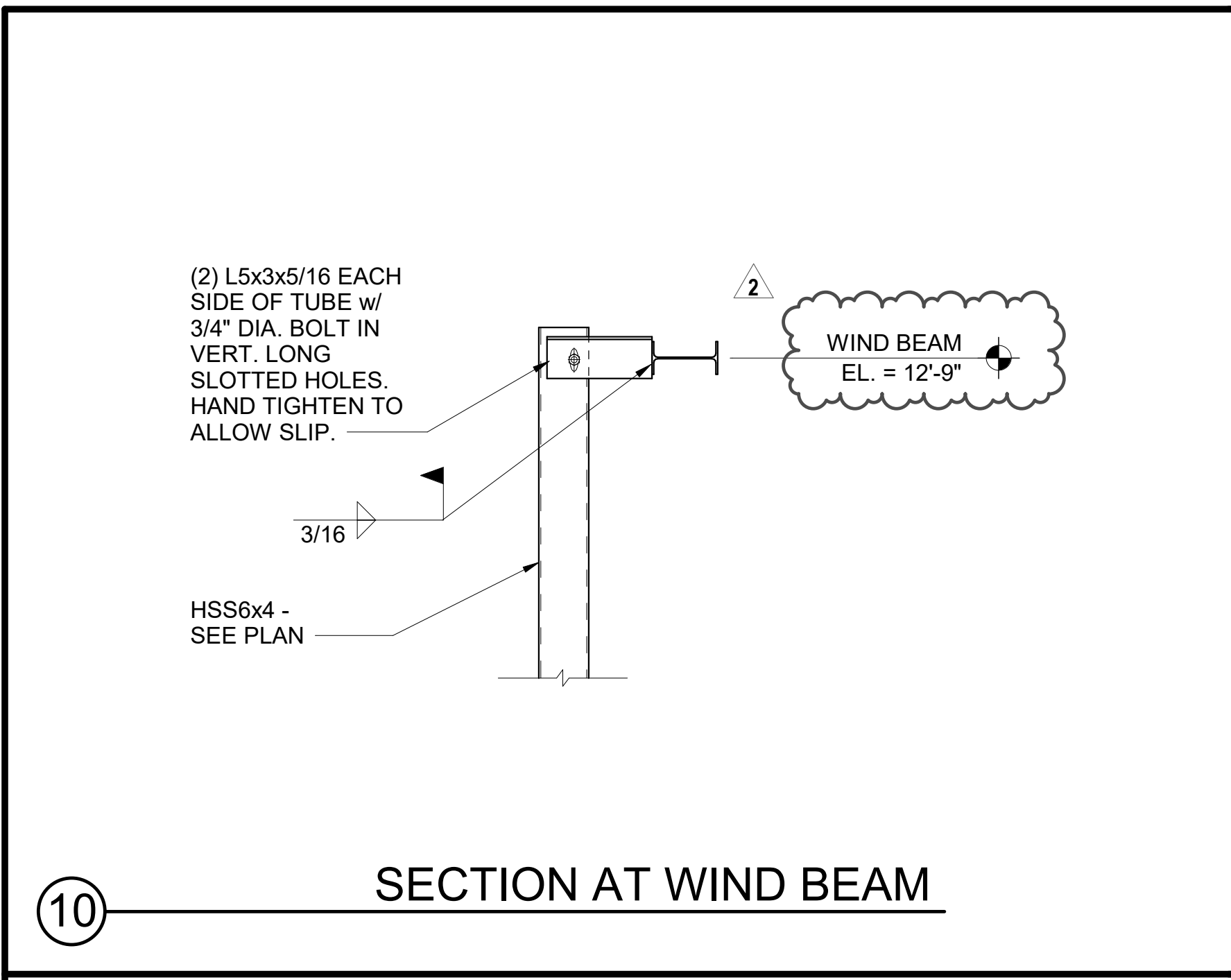
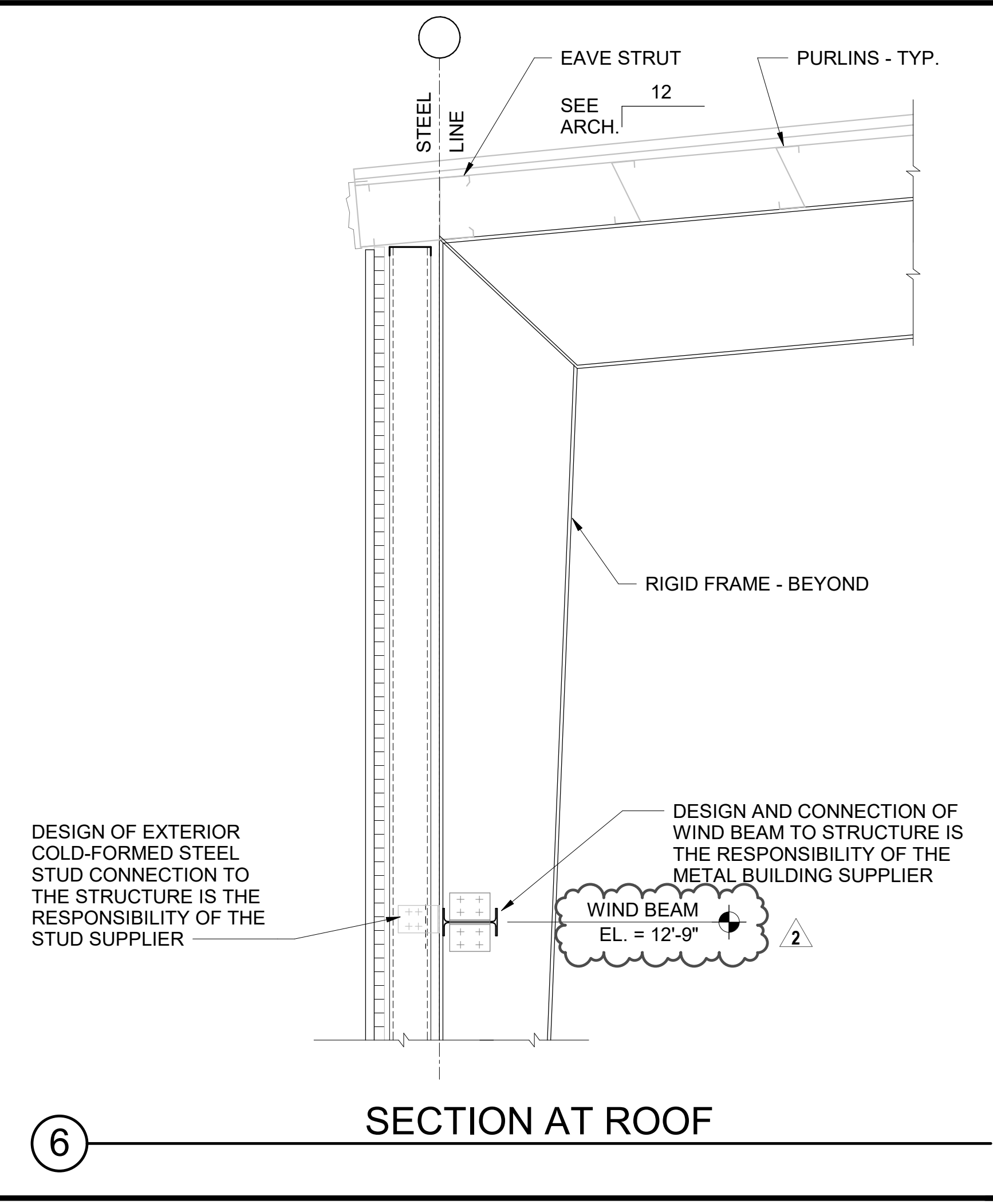
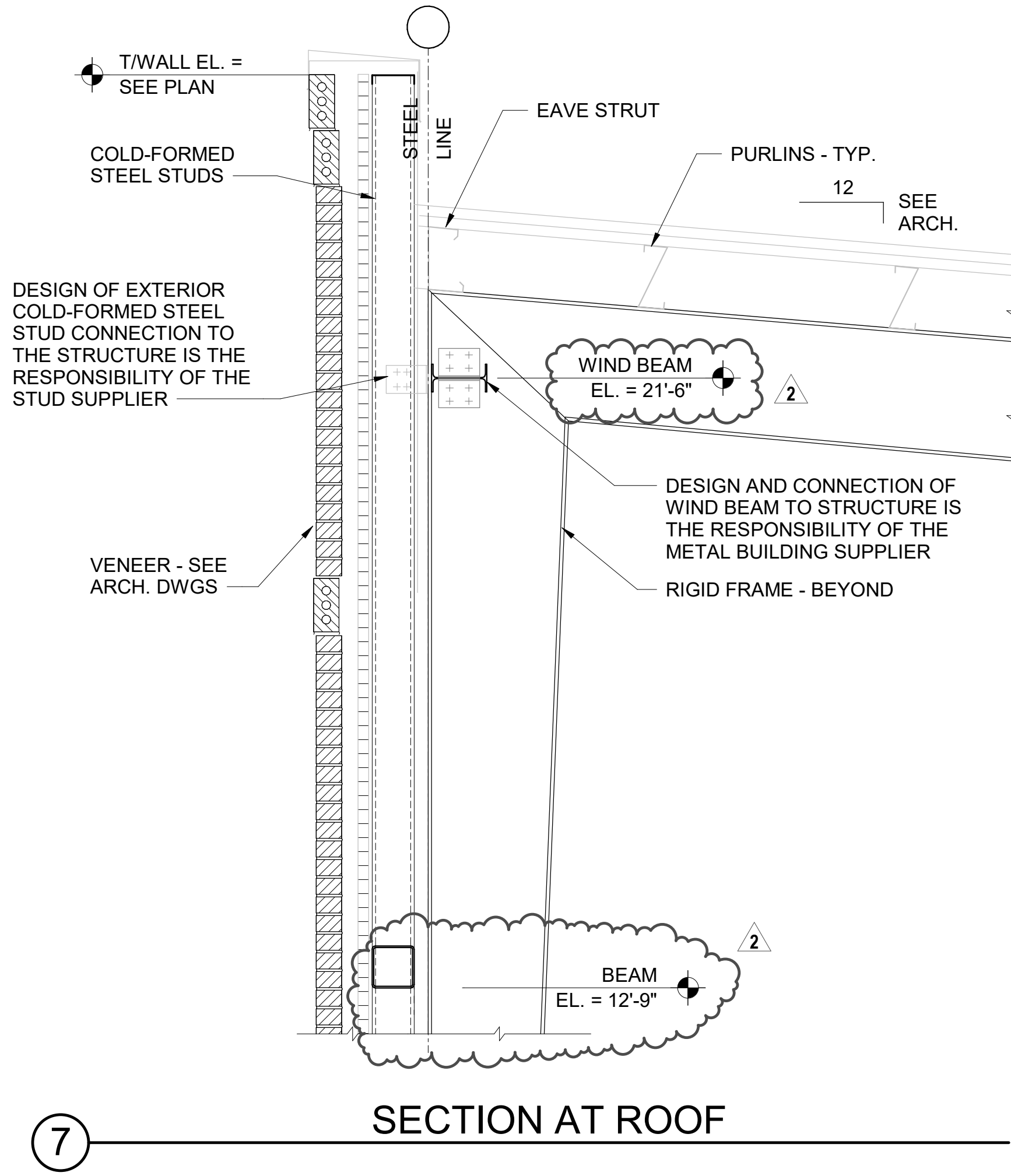
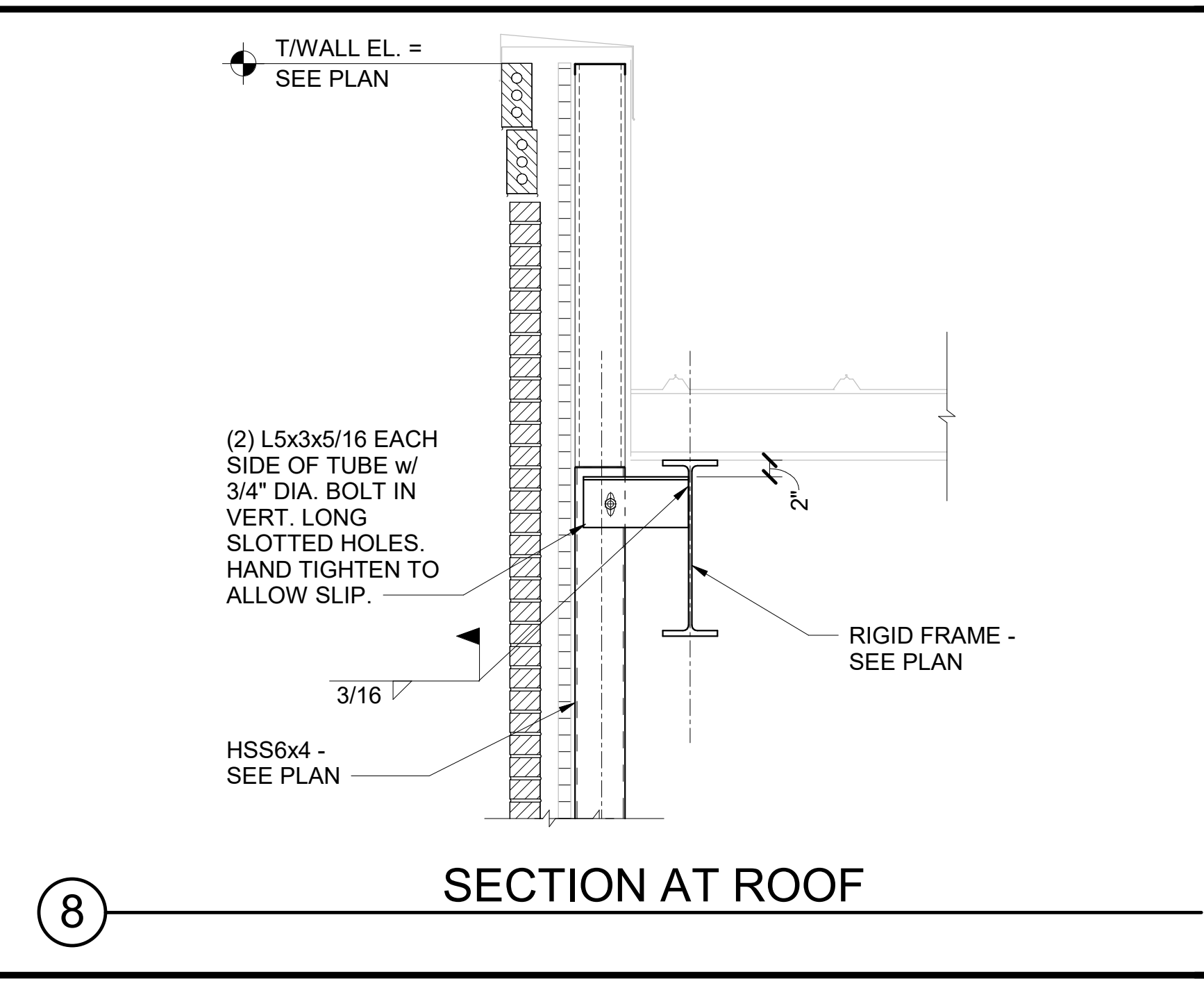
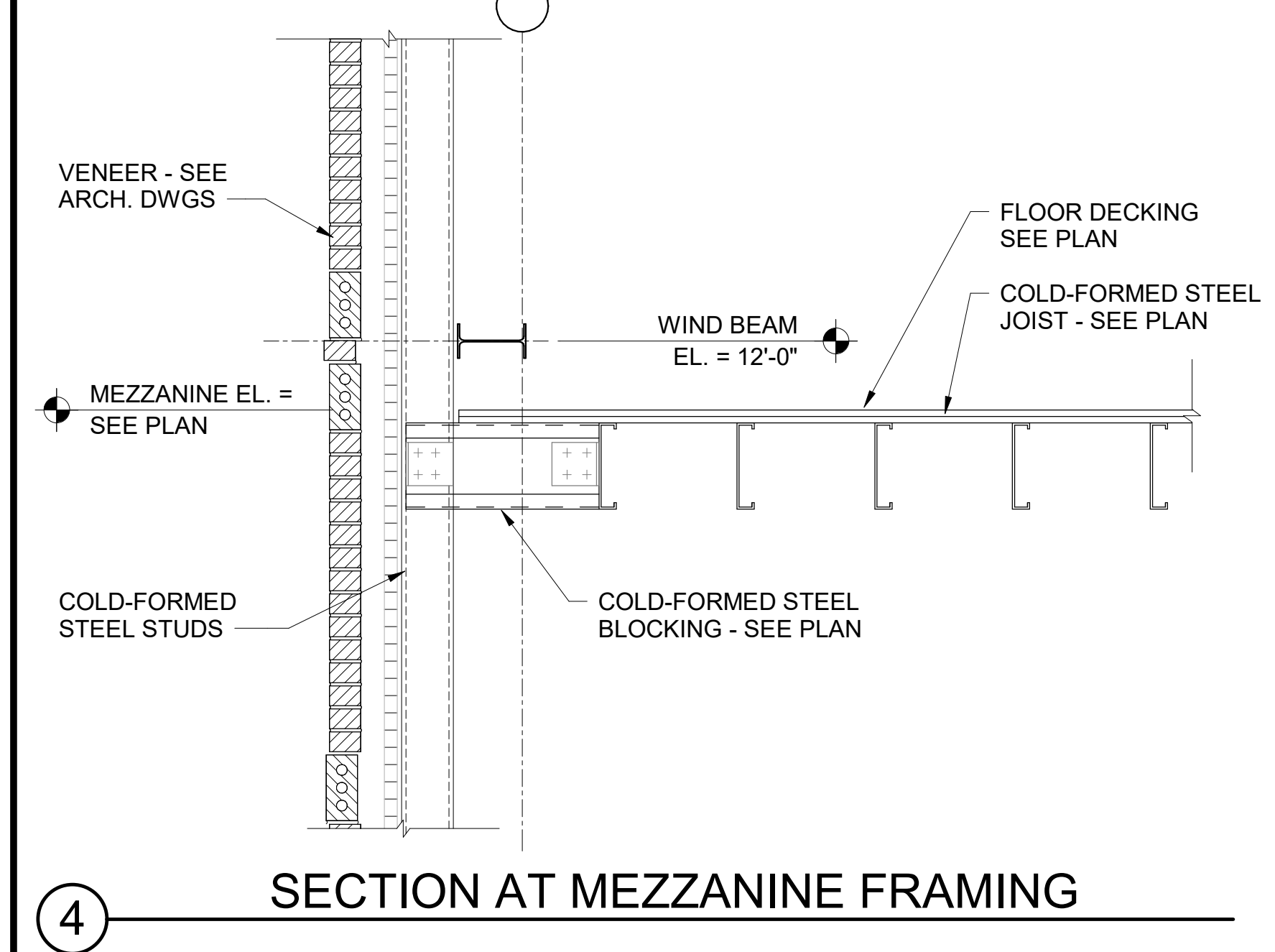
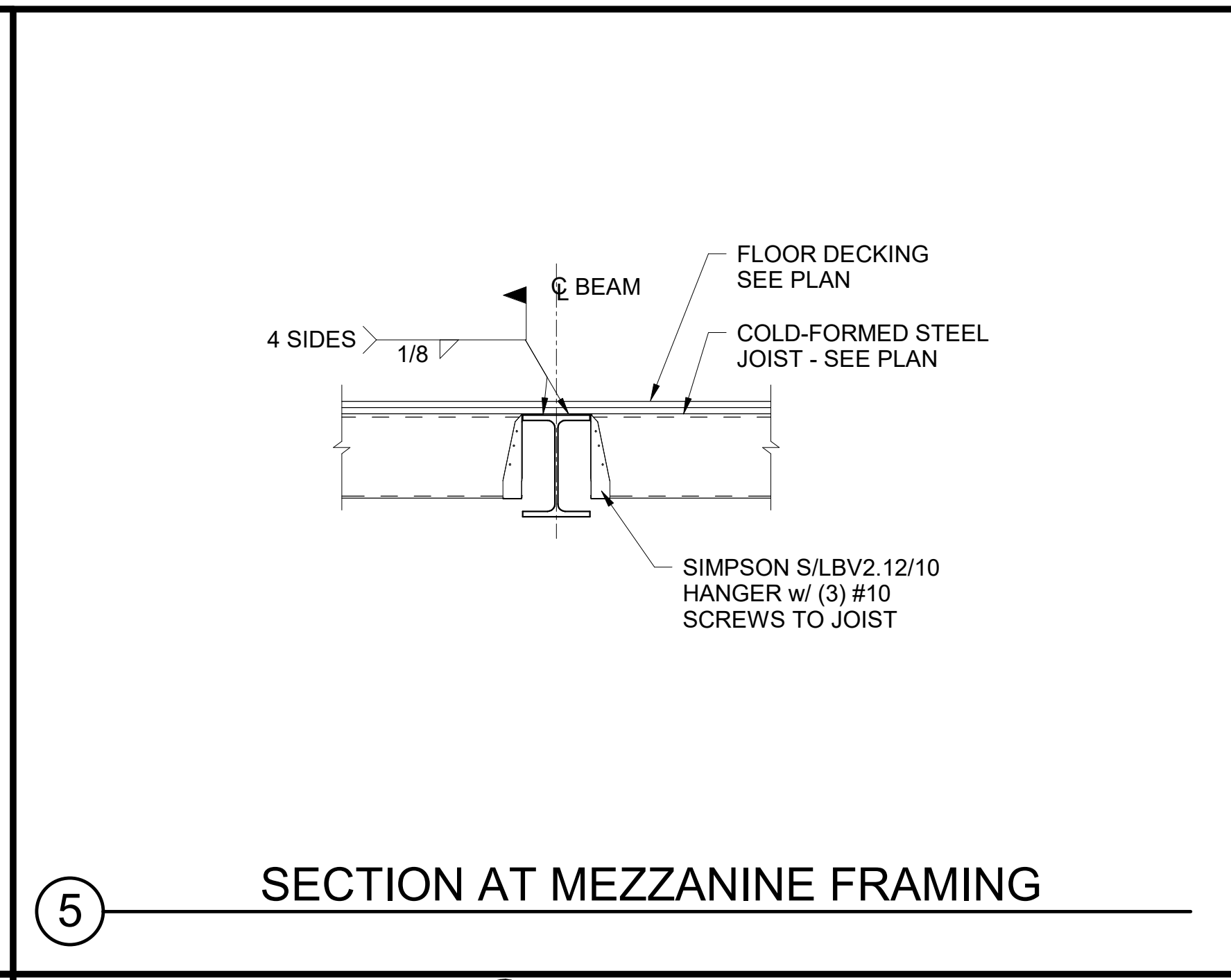
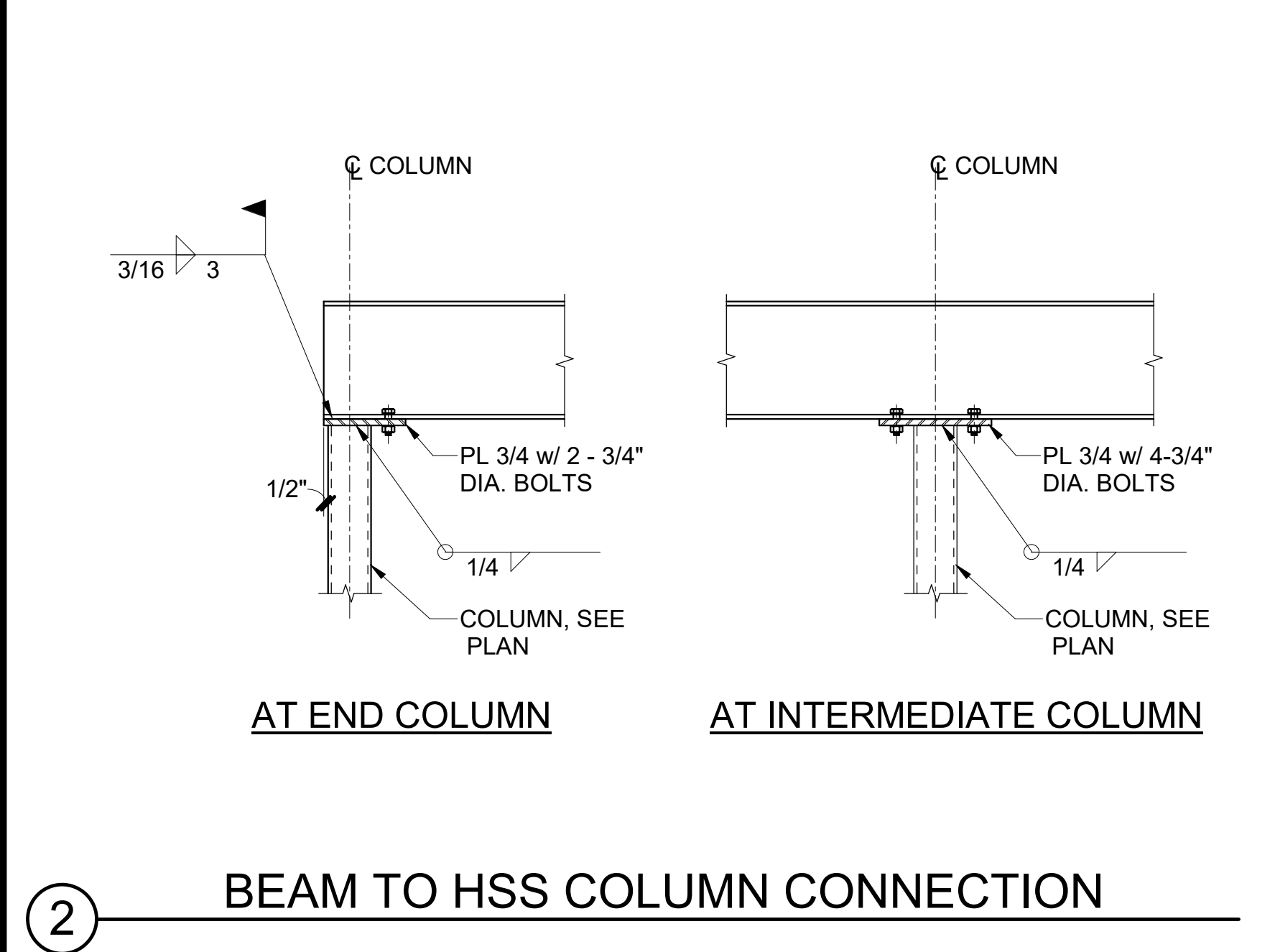
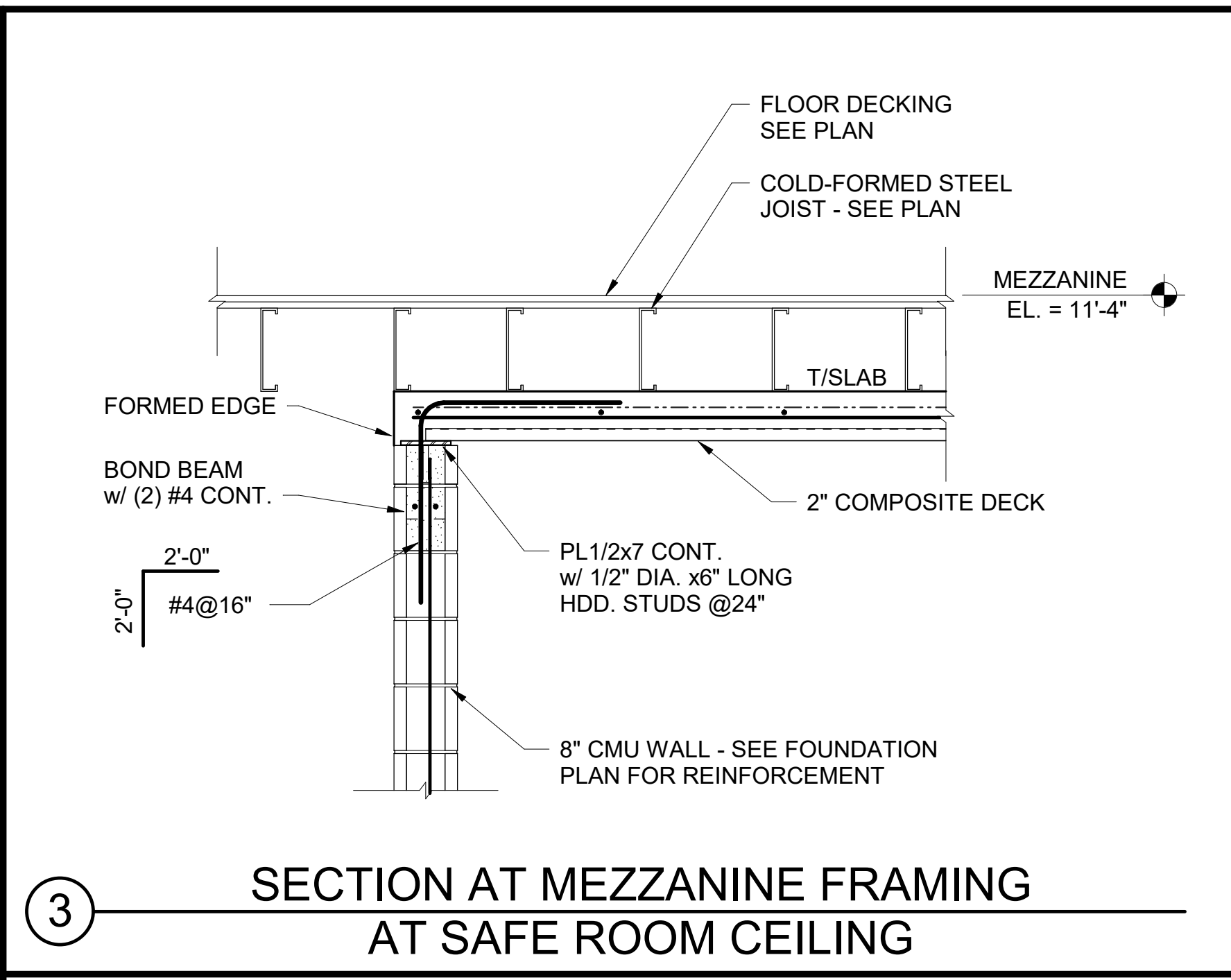
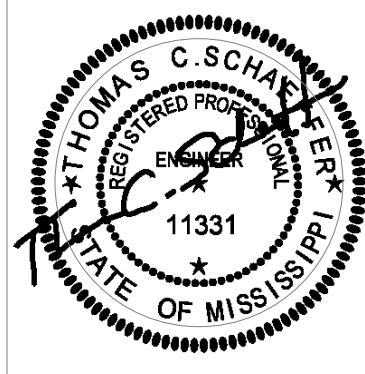
6 FIELD CUT HOLE DETAIL



3 SILL/HEAD TRACK CONNECTION DETAIL



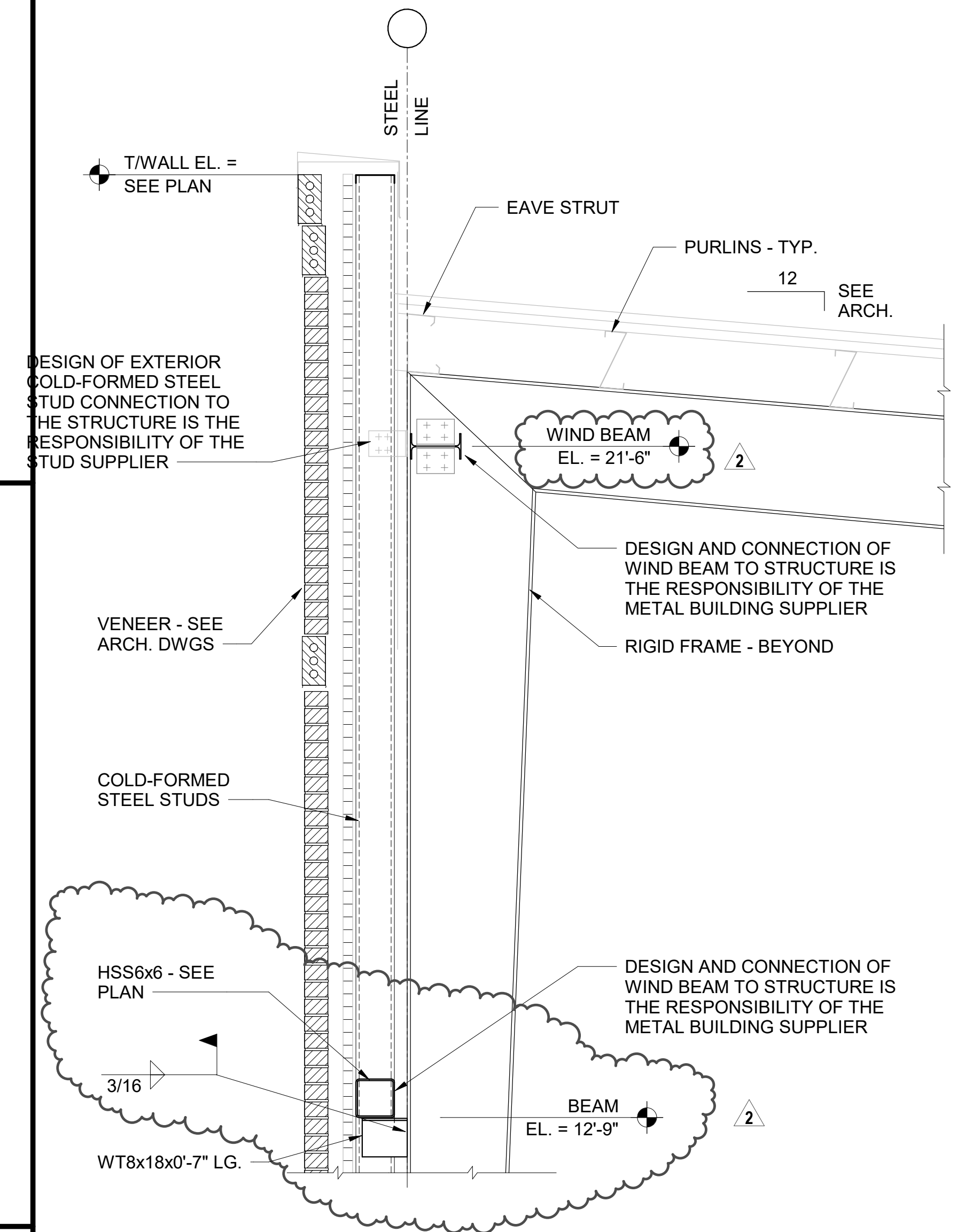
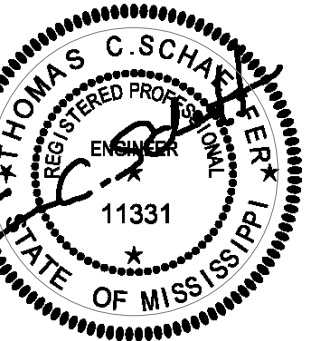
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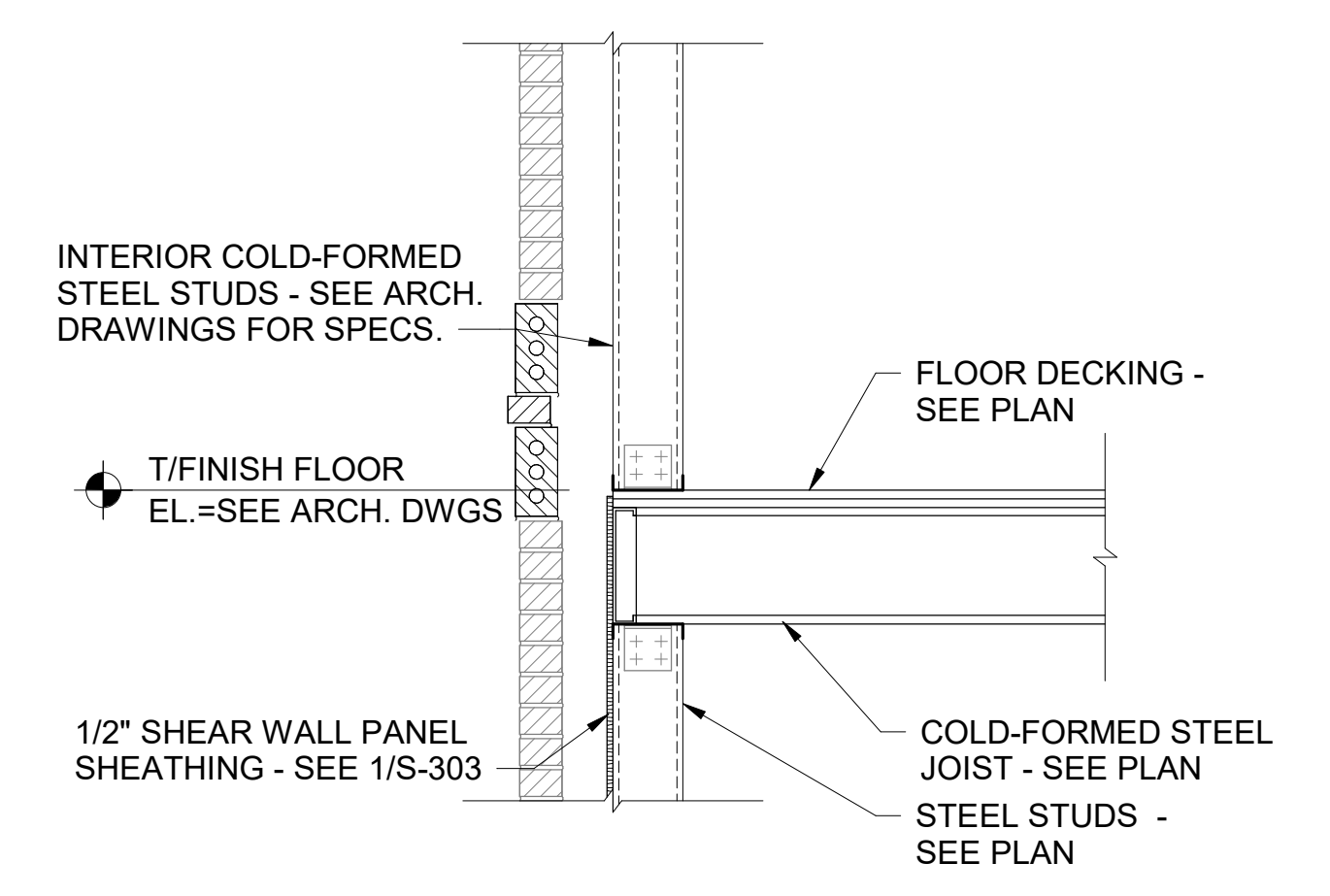
- NOTES:
1. ALL STEEL FOR CANOPY ANCHORAGE SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
 2. COORDINATE NUMBER AND TYPE OF BRACKETS WITH SHOP DRAWINGS.
 3. COORDINATE QUANTITY, SIZE, AND SPACING OF THREADED STUDS WITH CANOPY SHOP DRAWINGS. PROVIDE EYE BOLTS INSTEAD OF THREADED STUDS IF REQUIRED BY CANOPY SUPPLIER.
 4. ROUND HSS OR STD PIPE MAY BE USED IN LIEU OF SQUARE HSS TUBES. COORDINATE WITH ARCHITECTURAL AND CANOPY SUPPLIER DRAWINGS FOR INTENT OF DESIGN.

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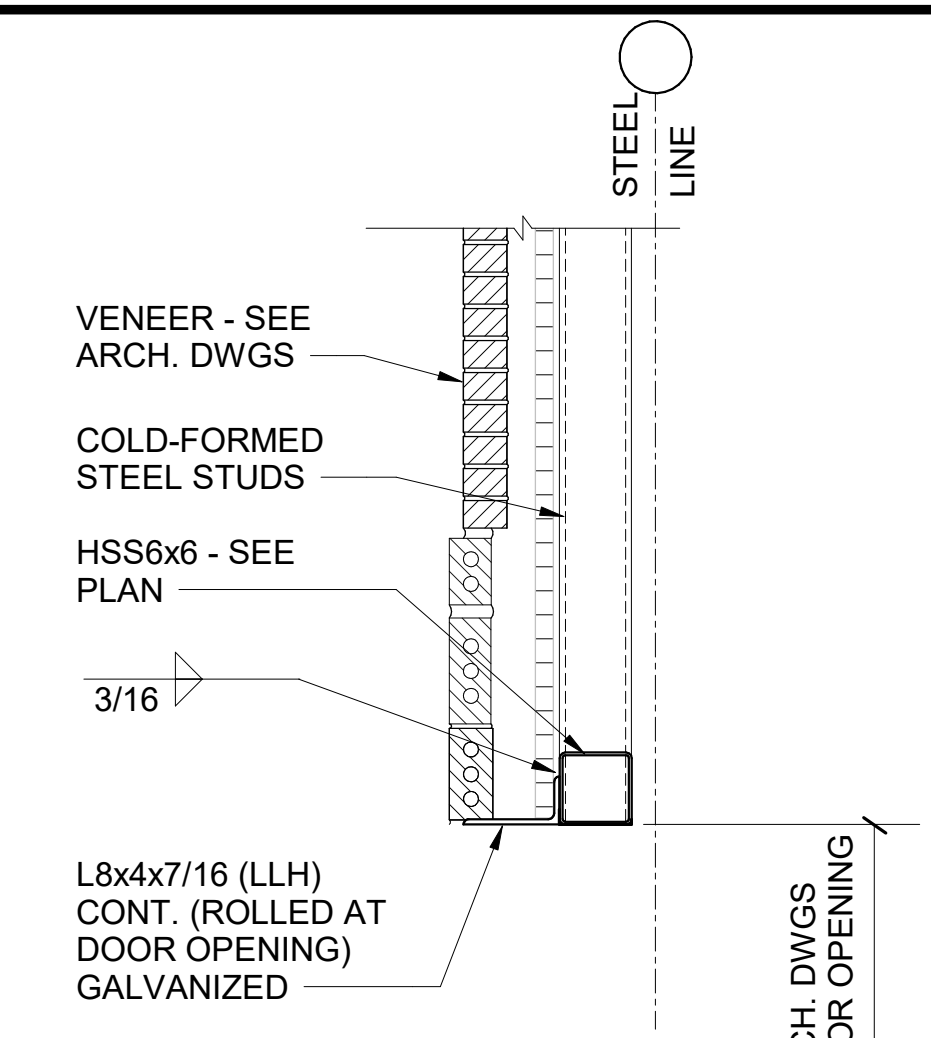
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SDG Project No. 2022-122.00
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2 SECTION AT ROOF



1 FLOOR FRAMING SECTION AT MEZZAINE



3 SECTION AT DOOR OPENING AT TRUCK BAY